

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

TCC BUILDING ROOF REPLACEMENT

ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS

1459 SAND HILL ROAD
CANDLER, NORTH CAROLINA

CONSTRUCTION DOCUMENTS - OCTOBER 1, 2021

INDEX OF DRAWINGS

G001	TITLE SHEET AND EXISTING BUILDING SUMMARY
S001	GENERAL NOTES, ABBREVIATIONS AND DRWSNG LEGENDS
S101	OVERAL ROOF PLAN
S102	REPAIR DETAILS
D191	ENLARGED DEMO ROOF PLAN - AREA 'A'
D192	ENLARGED DEMO ROOF PLAN - AREA 'B'
D193	ENLARGED DEMO ROOF PLAN - AREA 'C'
D194	ENLARGED DEMO ROOF PLAN - AREA 'D'
D195	ENLARGED DEMO ROOF PLAN - AREA 'E'
A190	OVERALL TCC ROOF PLAN
A192	ENLARGED ROOF PLAN - AREA 'B'
A193	ENLARGED ROOF PLAN - AREA 'C'
A194	ENLARGED ROOF PLAN - AREA 'D'
A195	ENLARGED ROOF PLAN - AREA 'E'
A201	EXISTING CONDITION PHOTOS - AREAS A & B
A202	EXISTING CONDITION PHOTOS - AREAS B & C
A203	EXISTING CONDITION PHOTOS - AREAS D & E
A401	ROOF DETAILS
A402	ROOF DETAILS
A403	ROOF DETAILS
M001	GENERAL NOTES, ABBREVIATIONS AND DRAWING LEGENDS
M100	OVERALL TCC ROOF PLAN
M101	ENLARGED ROOF PLAN - AREA 'A'
M102	ENLARGED ROOF PLAN - AREA 'B'
M103	ENLARGED ROOF PLAN - AREA 'C'
M104	ENLARGED ROOF PLAN - AREA 'D'
M105	ENLARGED ROOF PLAN - AREA 'E'
M201	CHILLED WATER SCHEMATIC

PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE COMPLETE REMOVAL AND REPLACEMENT OF APPROXIMATELY 80,000 SF OF EXISTING ROOF AND INSULATION THROUGHOUT THE TCC BUILDING. BASED ON SELECTIVE ROOF CORE SAMPLES, IT IS ASSUMED THAT THE MAJORITY OF THE EXISTING ROOF ASSEMBLY INCLUDES A CONCEALED LAYER OF BUILT-UP ASPHALT ROOFING WITH INSULATION BELOW THE VISIBLE SINGLE PLY MEMBRANE ROOF AND INSULATION. ALL OF THE ROOFING IS TO BE REMOVED COMPLETE TO THE EXISTING STRUCTURAL ROOF DECK IN ALL LOCATIONS. PT WOOD BLOCKING AND NAILERS IS TO BE REPLACED.

EXISTING MECHANICAL, ELECTRICAL AND OTHER ROOFTOP EQUIPMENT HAS BEEN IDENTIFIED THROUGHOUT THE ROOF AREAS. EQUIPMENT AND CURBS ARE TO BE REMOVED OR REINSTALLED AS INDICATED THROUGHOUT THE DRAWINGS. STRUCTURAL DRAWINGS HAVE BEEN INCLUDED IN THIS SCOPE OF WORK TO REPAIR EXISTING ROOF DECK WHERE EQUIPMENT HAS BEEN REMOVED OR DAMAGE HAS OCCURRED. ROOF ACCESS LADDERS AND STAIRS HAVE BEEN LOCATED THROUGHOUT THE ROOF AREAS. REFER TO THE DRAWINGS FOR SCOPE OF WORK IN REPAIR AND REPLACEMENT OF EXISTING LADDERS AND STAIRS.

PROJECT ALLOWANCES

ALLOWANCE NO. 1: QUANTITY ALLOWANCE: PROVIDE AN ALLOWANCE AMOUNT FOR THE REMOVAL, DISPOSAL AND REPLACEMENT OF 100 LINEAL FEET (LF) OF EXISTING DETERIORATED WOOD NAILERS, CURBS AND MISCELLANEOUS BLOCKING. THIS ALLOWANCE AMOUNT WILL BE USED TO CALCULATE THE UNIT PRICE PER SQUARE FOOT OF REMOVAL AND REPLACEMENT OF DAMAGED WOOD BLOCKING. THE UNIT PRICE FOR THIS WILL BE APPLIED AS AN ADD TO THE PROJECT FOR REMOVAL OF ADDITIONAL QUANTITIES ABOVE THE ALLOWANCE QUANTITY OR AS A DEDUCT FOR UNUSED ALLOWANCE QUANTITY.

ALLOWANCE NO. 2: QUANTITY ALLOWANCE: PROVIDE AN ALLOWANCE AMOUNT FOR THE INSTALLATION OF WALK PADS 100 LINEAL FEET (LF) OF 24" W WALKPADS. THIS ALLOWANCE AMOUNT WILL BE USED TO CALCULATE THE UNIT PRICE PER LINEAL FOOT OF ADDITIONAL WALKPAD INSTALLATION. THE UNIT PRICE FOR THIS WILL BE APPLIED AS AN ADD TO THE PROJECT FOR INSTALLATION OF ADDITIONAL QUANTITIES ABOVE THE ALLOWANCE QUANTITY OR AS A DEDUCT FOR UNUSED ALLOWANCE QUANTITY.

ALLOWANCE NO. 3: QUANTITY ALLOWANCE: PROVIDE AN ALLOWANCE AMOUNT FOR THE REMOVAL AND INSTALLATION OF 250 SQUARE FEET (SF) OF DAMAGED METAL ROOFING DECK. THIS ALLOWANCE AMOUNT WILL BE USED TO CALCULATE THE UNIT PRICE PER SQUARE FOOT OF REMOVAL AND REPLACEMENT OF DAMAGED METAL ROOF DECK. THE UNIT PRICE FOR THIS WILL BE APPLIED AS AN ADD TO THE PROJECT FOR REMOVAL OF ADDITIONAL QUANTITIES ABOVE THE ALLOWANCE QUANTITY OR AS A DEDUCT FOR UNUSED ALLOWANCE QUANTITY.

PROJECT ALTERNATES

ADD ALTERNATE NO 1: ROOF MEMBRANE:
IN LIEU OF 60 MIL TPO ROOF IN SPECIFICATIONS, PROVIDE AN 80 MIL TPO ROOF.
BASE BID: BID 60 MIL TPO ROOF AS DRAWN AND SPECIFIED.

ADD ALTERNATE NO 2: ROOF MEMBRANE:
IN LIEU OF 60 MIL TPO ROOF, PROVIDE A WHITE 60 MIL FULLY ADHERED SINGLE-PLY (PVC) OVER A MECHANICALLY FASTENED 1/2" DENSDECK COVERBOARD, OVER POLYISO INSULATION, OVER METAL DECK. SARNAFIL G410 BASIS OF DESIGN
BASE BID: BID 60 MIL TPO ROOF AS DRAWN AND SPECIFIED.

ADD ALTERNATE NO 3: STANDING SEAM ROOF:
REPLACE STANDING SEAM ROOF, GUTTER AND DOWNSPOUTS ON WEST END DUMPTSER ENCLOSURE. SEE A191, KEYNOTE 14.
BASE BID: EXISTING ROOF TO REMAIN.

LOCATION MAP



PROJECT TEAM

OWNER
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE 340 VICTORIA ROAD ASHEVILLE, NORTH CAROLINA 28801 PHONE: (828) 398-7900 www.abtech.edu
CLIENT
BUNCOMBE COUNTY GOVERNMENT GENERAL SERVICES 40 McCORMICK PLACE ASHEVILLE, NORTH CAROLINA 28801 PHONE: (828) 250-4233
ARCHITECT
NOVUS ARCHITECTS 14 SOUTH PACK SQUARE, SUITE 400 ASHEVILLE, NORTH CAROLINA 28801 PHONE: (828) 236-9992 www.novusarchitects.com
PME ENGINEER
McKIM & CREED, INC. 51 THOMPSON STREET, SUITE D ASHEVILLE, NORTH CAROLINA 28803 PHONE: (828) 252-8181 www.mckimcreed.com
STRUCTURAL ENGINEER
SKA CONSULTING ENGINEERS, PC 64 PEACHTREE ROAD, SUITE 30 ASHEVILLE, NORTH CAROLINA 28803 PHONE: (828) 274-4440 www.skaeng.com



SEE A190 FOR LARGER SCALE DRAWING

PLAN
NORTH TRUE
NORTH

G7
G001

OVERALL ROOF PLAN
1" = 50'-0"



ASHEVILLE
ATLANTA
CHARLOTTE
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

TITLE SHEET AND EXISTING BUILDING SUMMARY

No.	Description	Date

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
G001

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

STRUCTURAL ABBREVIATIONS

AB ANCHOR BOLT	GB GRADE BEAM	PT PRESSURE TREATED
ACI AMERICAN CONCRETE INSTITUTE	GA GAGE; GAUGE	PTI POST-TENSIONING INSTITUTE
AFF ABOVE FINISHED FLOOR	GALV. GALVANIZED	PVC POLYVINYL CHLORIDE
AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION	HM HOLLOW METAL	R RADIUS
AITC AMERICAN INSTITUTE OF TIMBER CONSTRUCTION	HS HIGH STRENGTH	RD ROOF DRAIN
ALT. ALTERNATE	HEX. HD. HEXAGONAL HEAD	RAD. RADIUS
ARCH. ARCHITECTURAL	HSS HOLLOW STRUCTURAL SHAPE	REF. REFERENCE
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS	HT. HEIGHT	REINF. REINFORCE(D); REINFORCING
AVG. AVERAGE	ID INSIDE DIAMETER	REM. REMAINING; REMAINDER
AWS AMERICAN WELDING SOCIETY	I.F. INSIDE FACE	REQ'D. REQUIRED
BLDG. BUILDING	IN. INCH/INCHES	SJ SAWED JOINT
BM BEAM	INT. INTERIOR; INTERSECTION	S.S. STAINLESS STEEL
BP BEARING PLATE; BASE PLATE	JST. JOIST	SW SHORT WAY
BRG. BEARING	JT. JOINT	SCHED. SCHEDULE
CJ CONSTRUCTION JOINT	K or k KIP (1,000 LBS.)	SECT. SECTION
CMU CONCRETE MASONRY UNIT	K/FT KIPS PER FOOT	SHT. SHEET
CGS CENTER OF GRAVITY OF STEEL	LLBB LONG LEGS BACK TO BACK	SIM. SIMILAR
CL. CENTERLINE	LLH LONG LEG HORIZONTAL	SJI STEEL JOIST INSTITUTE
CLG. CEILING	LLV LONG LEG VERTICAL	SLBB SHORT LEGS BACK TO BACK
CLR. CLEAR	LLO LONG LEG OUTSTANDING	SLO SHORT LEG OUTSTANDING
COL. COLUMN	LLV LONG LEG VERTICAL	SOG SLAB ON GRADE
CONC. CONCRETE	LW LONG WAY	SPEC(S). SPECIFICATION(S)
CONN. CONNECTION	LB. POUND	SQ. SQUARE
CONST. CONSTRUCTION	LG. LONG	STD. STANDARD
CONT. CONTINUOUS	LIN. LINEAR	STL. STEEL
CRSI CONCRETE REINFORCING STEEL INSTITUTE	LL LIVE LOAD	STRUCT. STRUCTURAL
CTR. CENTER	LT. WT. LIGHT WEIGHT	SYM. SYMMETRICAL
DCJ DOWELED CONTROL JOINT	MOS MIDDLE OF SLAB	TOC TOP OF CONCRETE
DJ DOUBLE JOIST	MOW MIDDLE OF WALL	TOF TOP OF FOOTING
DS DOWN SPOUT	MATL. MATERIAL	TOS TOP OF SLAB; TOP OF STEEL
DBL DOUBLE	MAX. MAXIMUM	TOW TOP OF WALL
DET. DETAIL	MIN. MINIMUM	T&B TOP AND BOTTOM
DIA. DIAMETER	MISC. MISCELLANEOUS	TEMP. TEMPORARY
DIAG. DIAGONAL	MARK	THRU THROUGH
DIM. DIMENSION	N/A NOT APPLICABLE	TYP. TYPICAL
DL DEAD LOAD	N.F. NEAR FACE	U.L. UNDERWRITERS LABORATORIES
DN DOWN	NIC NOT IN CONTRACT	UNO UNLESS NOTED OTHERWISE
DWG(S). DRAWING(S)	NTS NOT TO SCALE	W/O WITHOUT
E.F. EACH FACE	N-S NORTH-SOUTH	W/ WITH
E.S. EACH SIDE	NCSBC NORTH CAROLINA STATE BUILDING CODE	WP WORKING POINT
E.W. EACH WAY	NO. NUMBER	WWF WELDED WIRE FABRIC
E-W EAST-WEST	NOM. NOMINAL	
EA. EACH	O/C ON CENTER	
ELEV. ELEVATION; ELEVATOR	OD OUTSIDE DIAMETER	
ENGR. ENGINEER	O.F. OUTSIDE FACE	
EQ. EQUAL	OPNG. OPENING	
EXIST. EXISTING	OPP. OPPOSITE	
EXP. JT. EXPANSION JOINT	OH. OPPOSITE HAND	
EXT. EXTERIOR	ORIG. ORIGINAL	
	P/S PRESTRESSED	
	P/T POST-TENSIONING	
FD FLOOR DRAIN	PC PRECAST CONCRETE	
FF FAR FACE	PCI PRECAST CONCRETE INSTITUTE	
FDN. FOUNDATION	PEN. PENETRATION	
FIN. FINISH	PERP. PERPENDICULAR	
FL. FLOOR	PL. PLATE	
FLG. FLANGE	PSF POUNDS PER SQUARE FOOT	
FOB FACE OF BRICK	PSI POUNDS PER SQUARE INCH	
FT. FOOT; FEET		
FTG. FOOTING		

MATERIALS AND SYMBOLS LEGEND

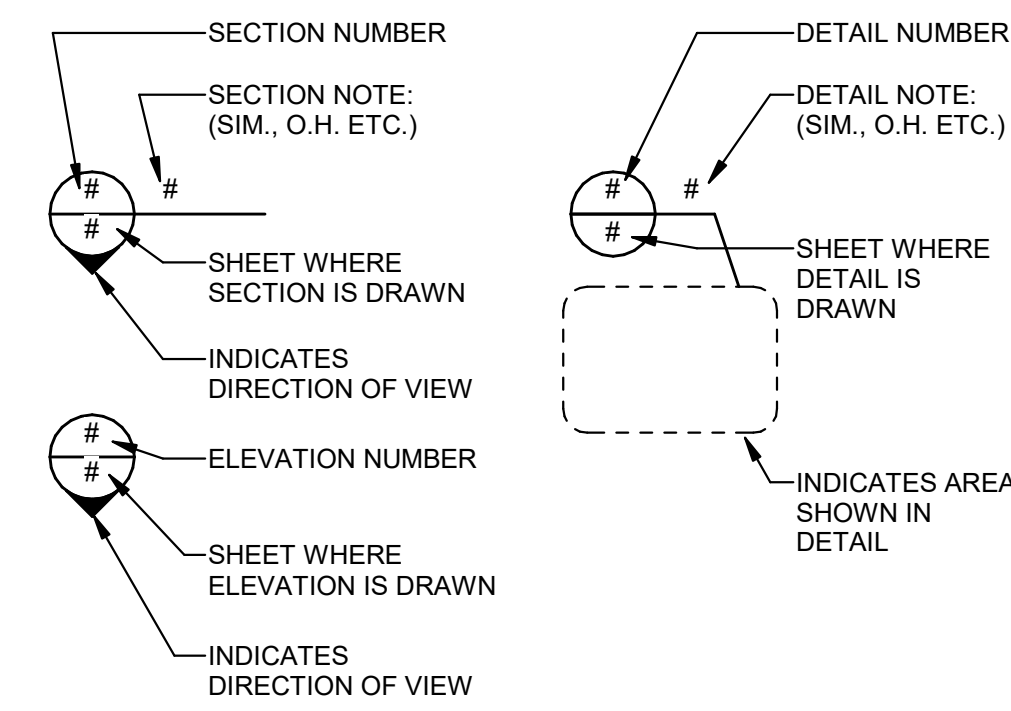
PLAN SYMBOLS

	TOP OF CONC. (TOC) OR DECK ELEVATION
	SPOT ELEVATION: WORKING POINT (WP)
	NOTE MARKER (SEE NOTES)
	CONNECTION TYPE
	COLUMN DESIGNATION (SEE SCHEDULE)
	REPAIR TYPE
	REVISION MARK

MATERIALS

	BRICK (SECTION)		INSULATION (RIGID)
	BRICK (ELEVATION)		INSULATION (BATT)
	CONCRETE (SECTION)		PLYWOOD (LARGE SCALE)
	CMU (SECTION)		STEEL
	CMU (ELEVATION)		STONE FILL
	DEPRESSED SLAB AREA		WOOD (FINISH)
	EARTH/SOIL		WOOD (ROUGH)
	FILL GROUT		PRECAST CONC.

VIEW SYMBOLS



COLUMN GRID DESIGNATION



SYMBOLS WITHIN TEXT

=	APPROX. EQUAL
∠	ANGLE
⊥	CENTERLINE
Δ	DELTA
≡	IDENTITY/EXACTLY EQUAL
≠	NOT EQUAL
Ω	OHM / OMEGA

SYMBOLS WITHIN NUMBERS

#	DEGED
°	DEGREE(S)
∅	DIAMETER
±	PLUS/MINUS
■	SQUARED

SCHEDULED ITEMS

B...	COLUMN BASE PLATE
BP...	BEAM BEARING PLATE
C...	COLUMN
CB...	CONCRETE BEAM
CG...	CONCRETE GIRDER
CJ...	CONCRETE JOIST
CP...	CONCRETE PIER
DP...	DRILLED PIER
F...	SPREAD FOOTING
GB...	GRADE BEAM
L...	LINTEL
MF...	MAT FOOTING
MP...	MASONRY PIER
PC...	PILE CAP
PTB...	POST-TENSIONED CONC. BEAM
PTS...	POST-TENSIONED CONC. SLAB
S...	ELEVATED SLAB
SG...	SLAB-ON-GRADE
WF...	WALL FOOTING
WR...	RETAINING WALL FOOTING

DRAWING INDEX

S001	GENERAL NOTES, ABBREVIATIONS AND DRAWING LEGENDS
S101	OVERALL ROOF PLAN
S102	REPAIR DETAILS

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

SKA Consulting Engineers, Inc.
64 Peachtree Road, Suite 30
Asheville, NC 28803-3153
t: 828 274 4440
www.ska.com
NC License No. F-0508

SKA Project Number: **210208**

SEAL
DONALD P. FARRIS
9/15/2021

**TCC BUILDING
ROOF REPLACEMENT**

ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER NORTH CAROLINA

GENERAL NOTES, ABBREVIATIONS AND DRAWING LEGENDS

REVISIONS:

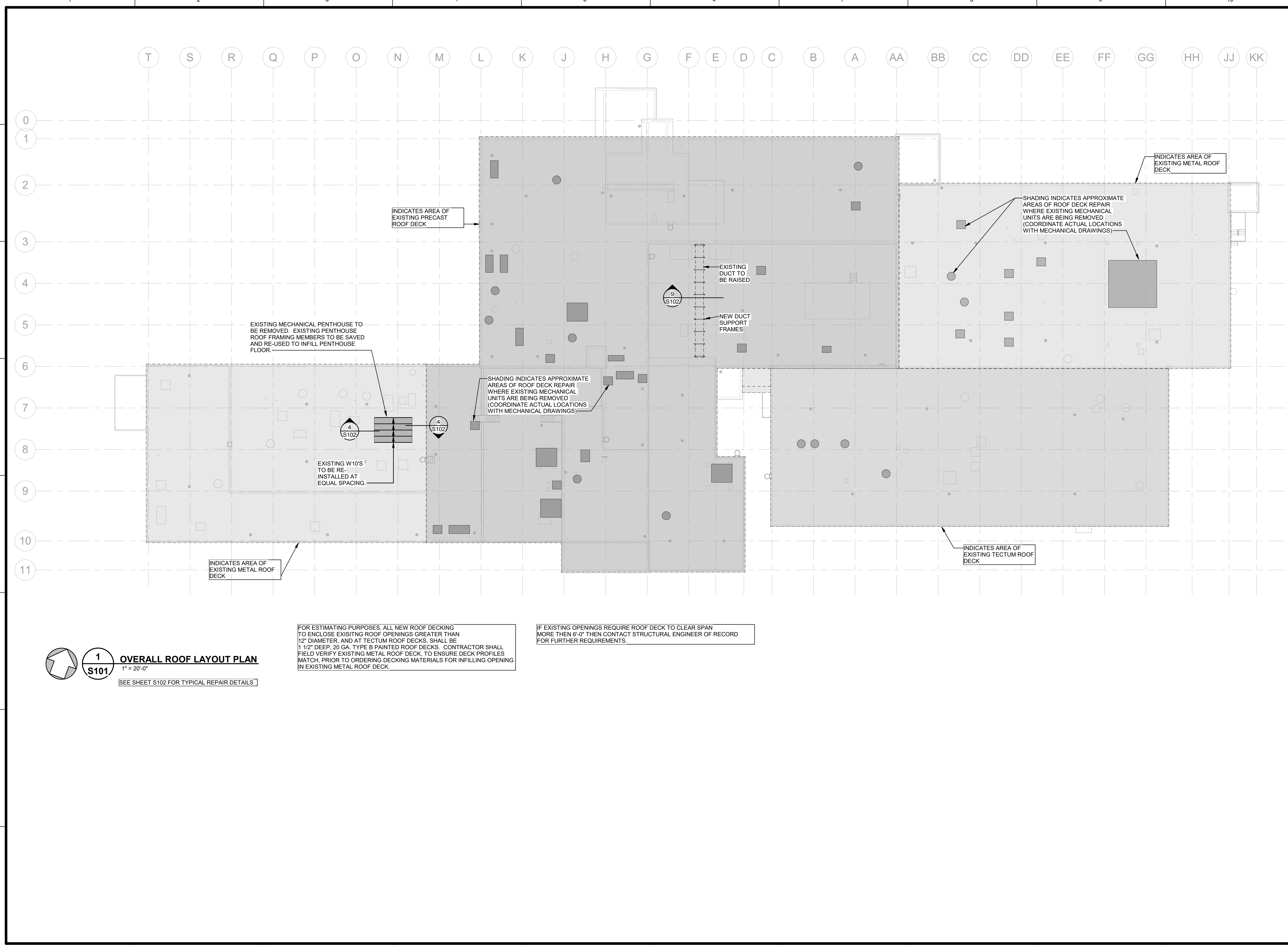
No.	Description	Date

DRAWN BY:	RJW
CHECKED BY:	DPF
DATE:	SEPTEMBER 15, 2021
NOVUS JOB NUMBER	
2015-3113.07	

SHEET NUMBER
S001

CONSTRUCTION SET - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



FOR ESTIMATING PURPOSES, ALL NEW ROOF DECKING TO ENCLOSE EXISTING ROOF OPENINGS GREATER THAN 12" DIAMETER, AND AT TECTUM ROOF DECKS, SHALL BE 1 1/2" DEEP, 20 GA. TYPE B PAINTED ROOF DECKS. CONTRACTOR SHALL FIELD VERIFY EXISTING METAL ROOF DECK, TO ENSURE DECK PROFILES MATCH, PRIOR TO ORDERING DECKING MATERIALS FOR INFILLING OPENING IN EXISTING METAL ROOF DECK.

IF EXISTING OPENINGS REQUIRE ROOF DECK TO CLEAR SPAN MORE THEN 6'-0" THEN CONTACT STRUCTURAL ENGINEER OF RECORD FOR FURTHER REQUIREMENTS.

1
S101 **OVERALL ROOF LAYOUT PLAN**
1" = 20'-0"
SEE SHEET S102 FOR TYPICAL REPAIR DETAILS

NOVUS
always new
ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE
NOVUSARCHITECTS.COM

SKA
CONSULTING ENGINEERS
SKA Consulting Engineers, Inc.
64 Peachtree Road, Suite 30
Asheville, NC 28803-3153
t: 828 274 4440
www.ska.com
NC License No. F-0508
SKA Project Number: **210208**

PROFESSIONAL SEAL
DONALD P. FARM
9/15/2021

**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER NORTH CAROLINA
OVERALL ROOF PLAN

REVISIONS:

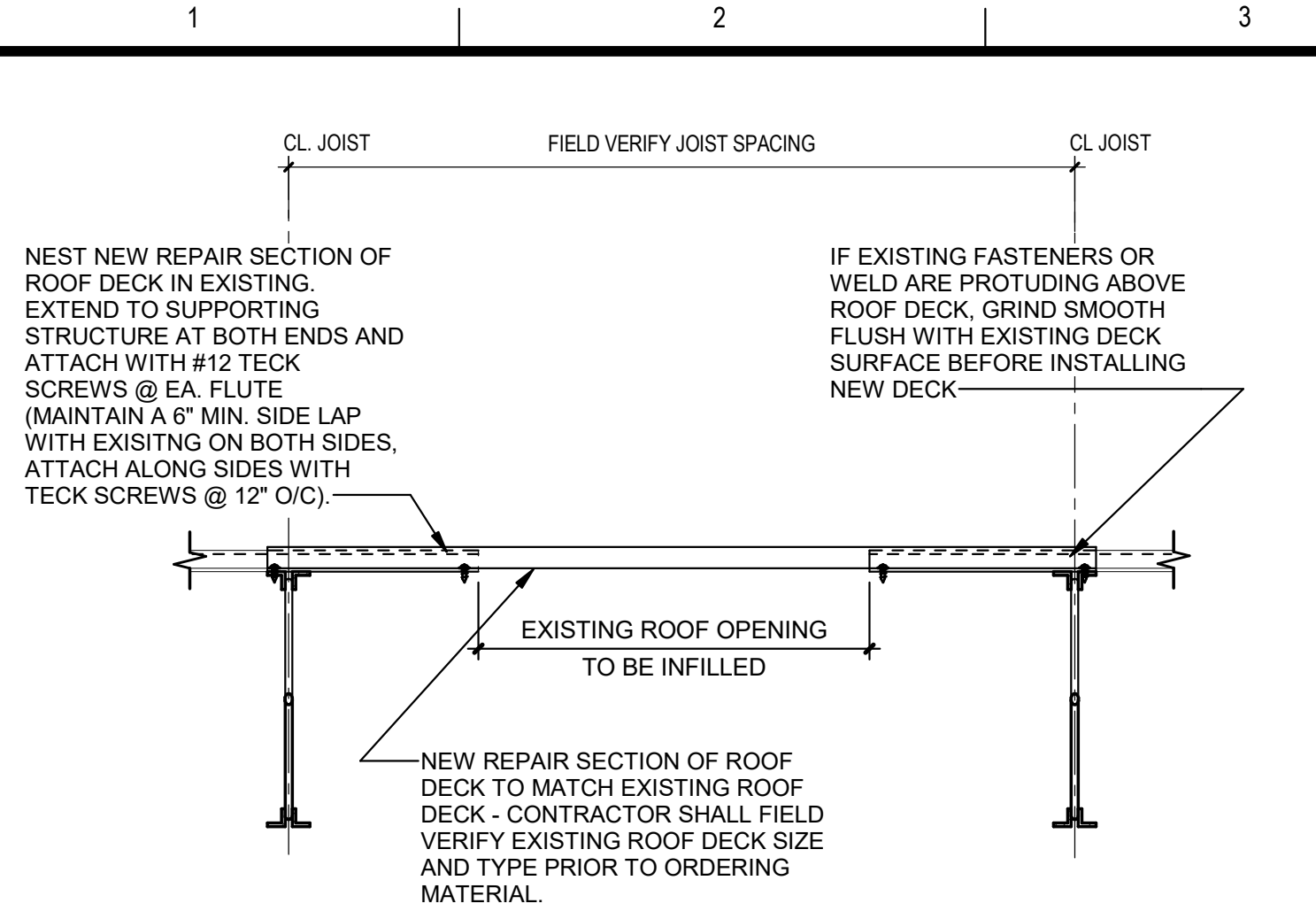
No.	Description	Date

DRAWN BY: R/JW
CHECKED BY: D/PF
DATE: SEPTEMBER 15, 2021
NOVUS JOB NUMBER
2015-3113.07

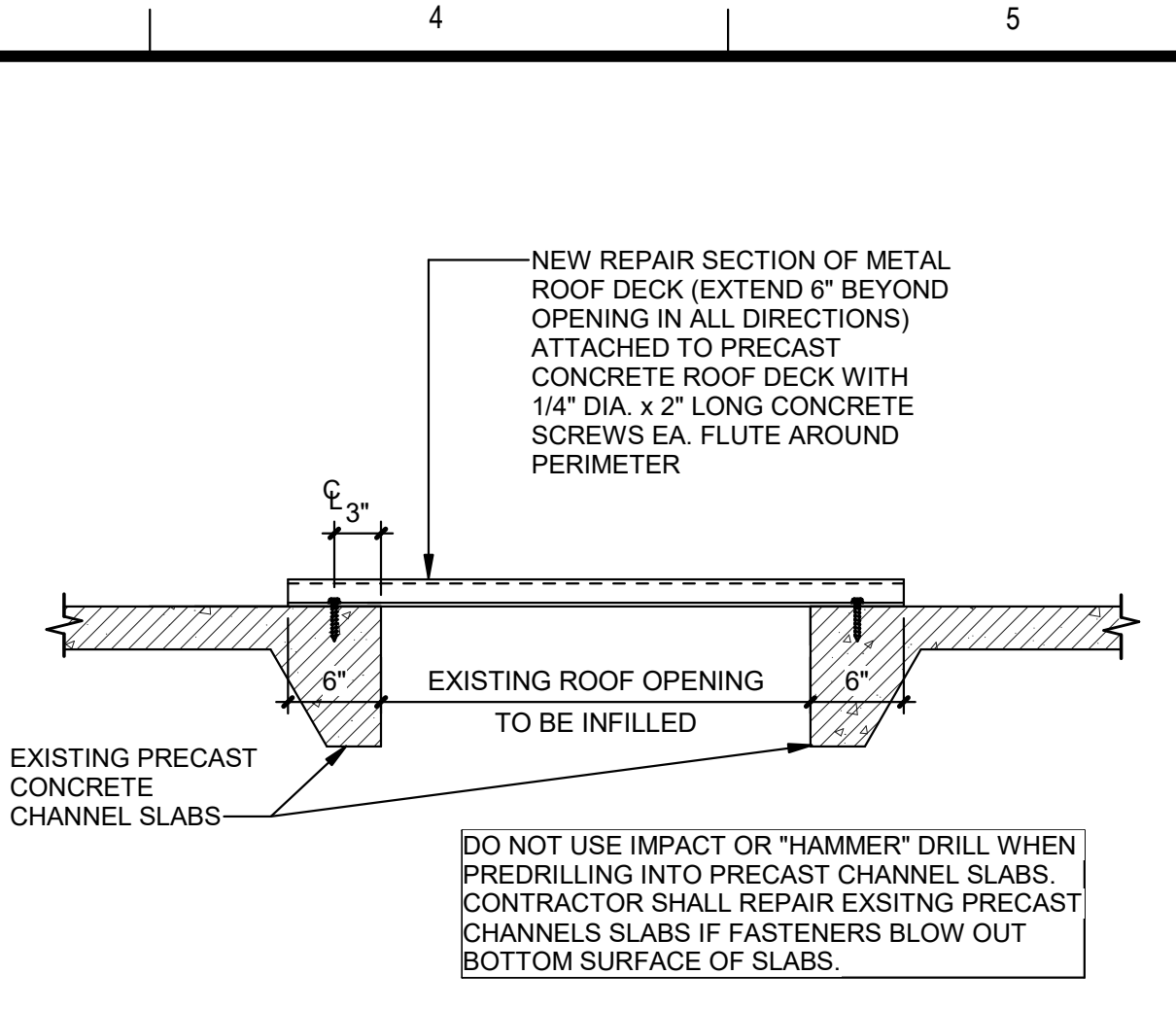
SHEET NUMBER
S101

CONSTRUCTION SET - SEPTEMBER 15, 2021

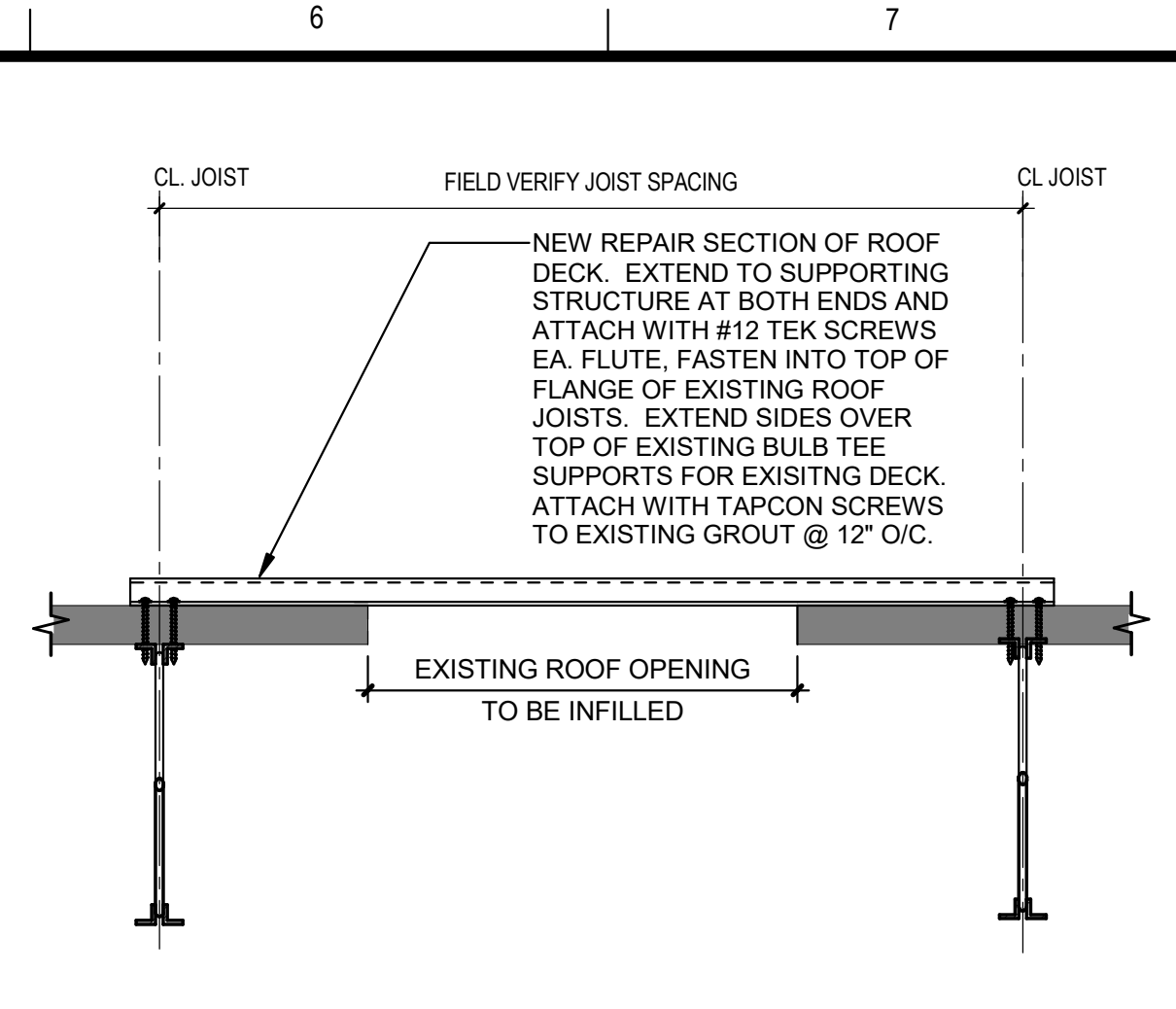
ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



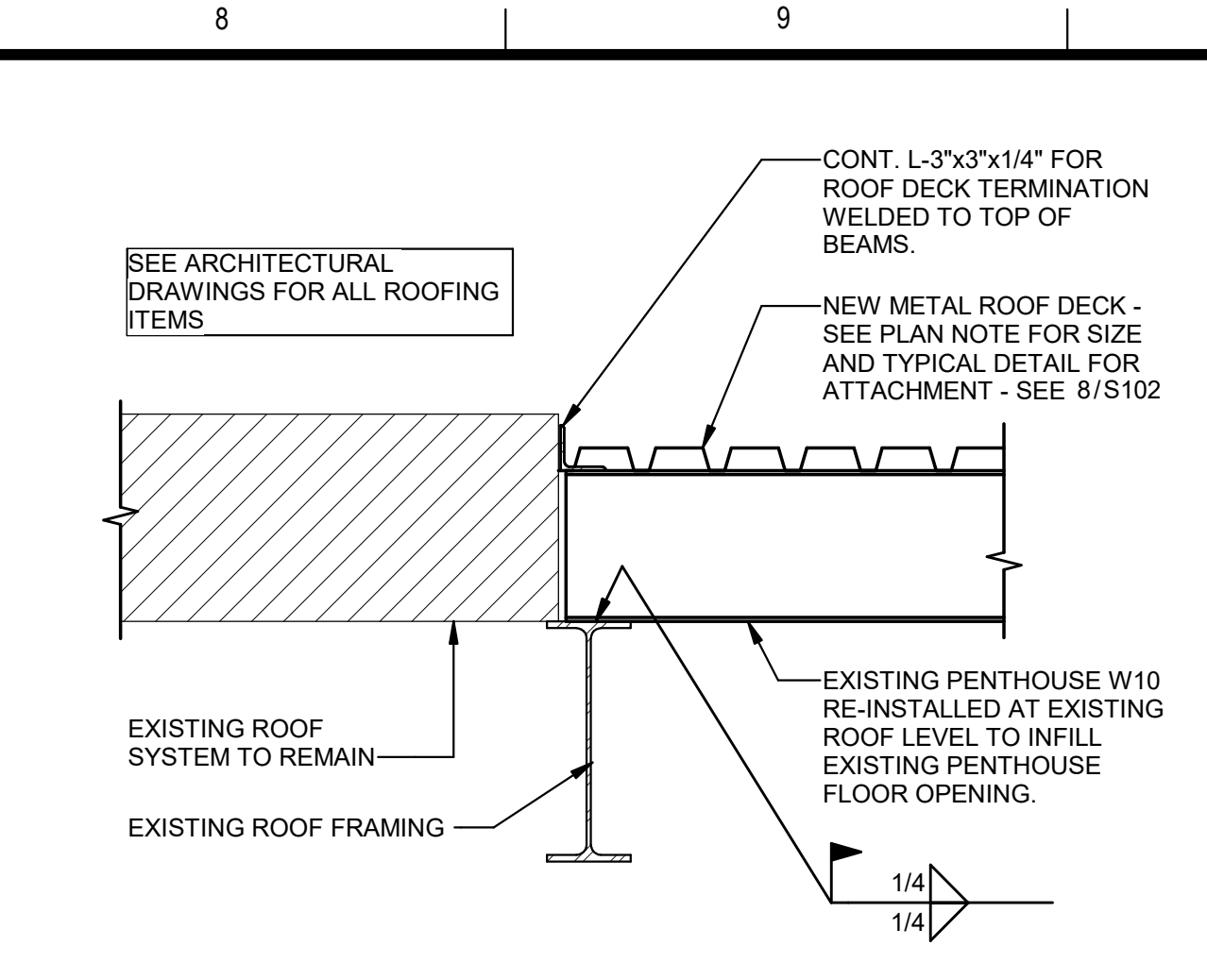
1
S102 METAL DECK OPENING REPAIR
1" = 1'-0"



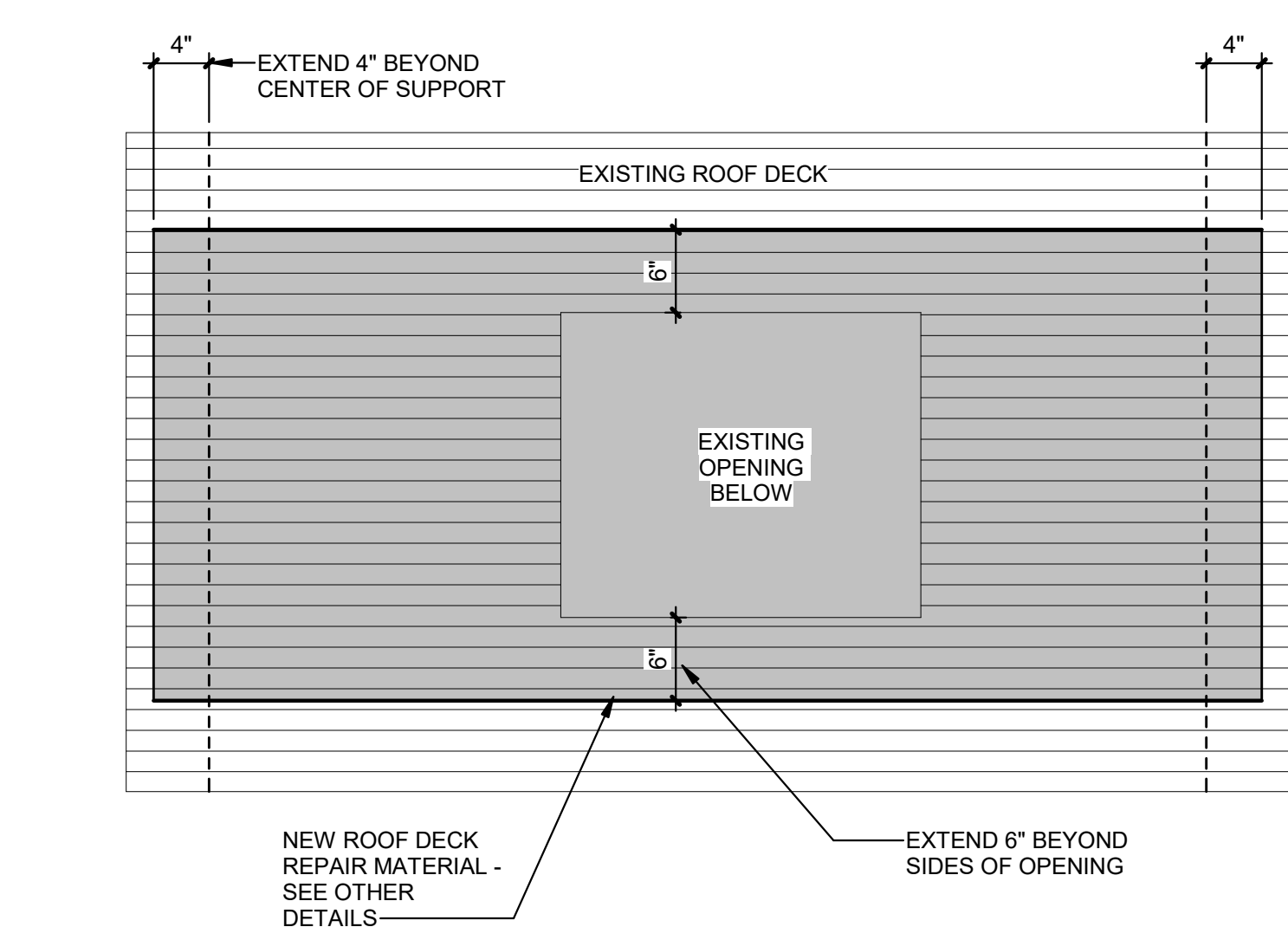
2
S102 PRECAST ROOF DECK OPENING REPAIR
1" = 1'-0"



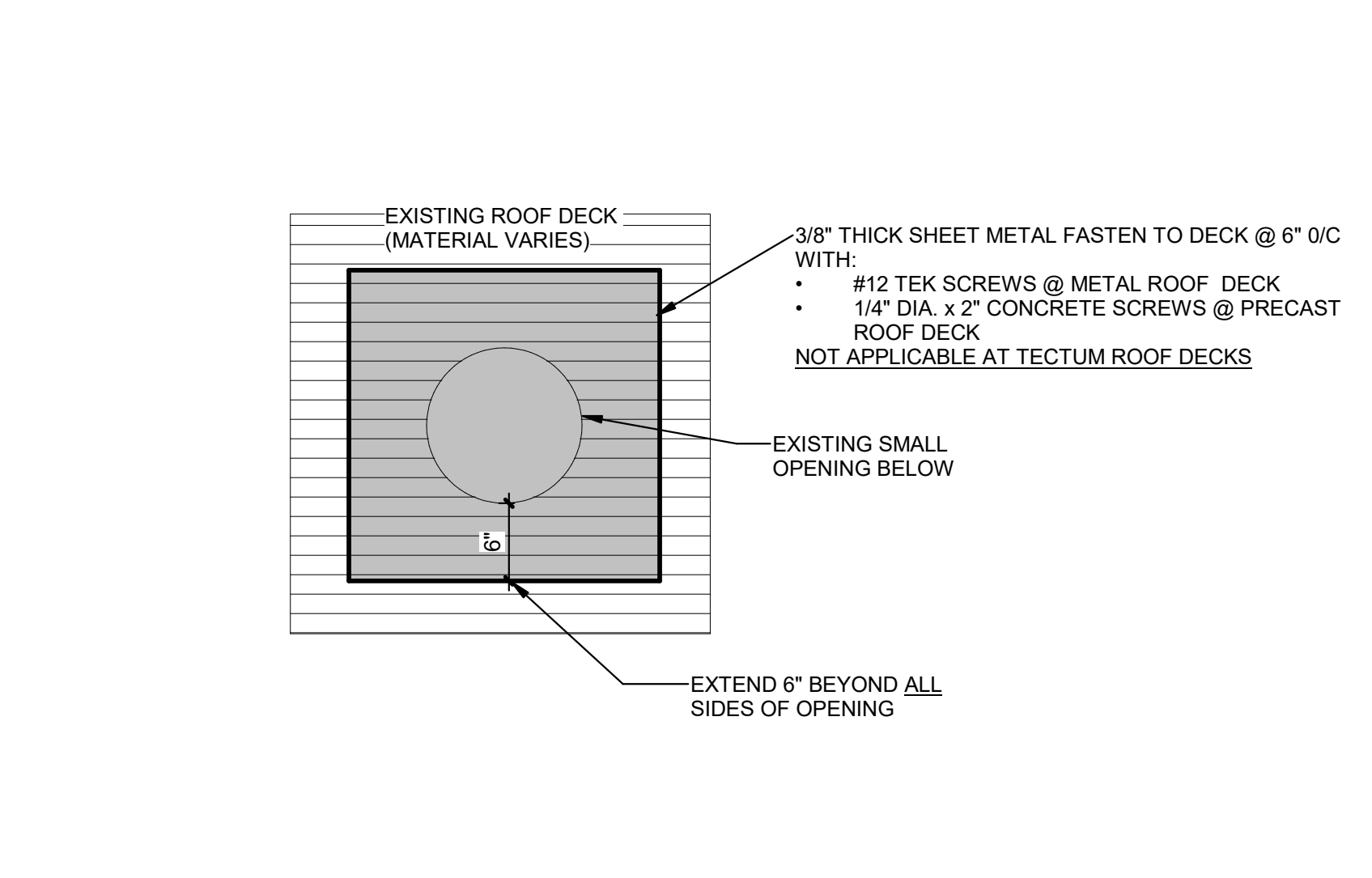
3
S102 TECTUM ROOF DECK OPENING REPAIR
1" = 1'-0"



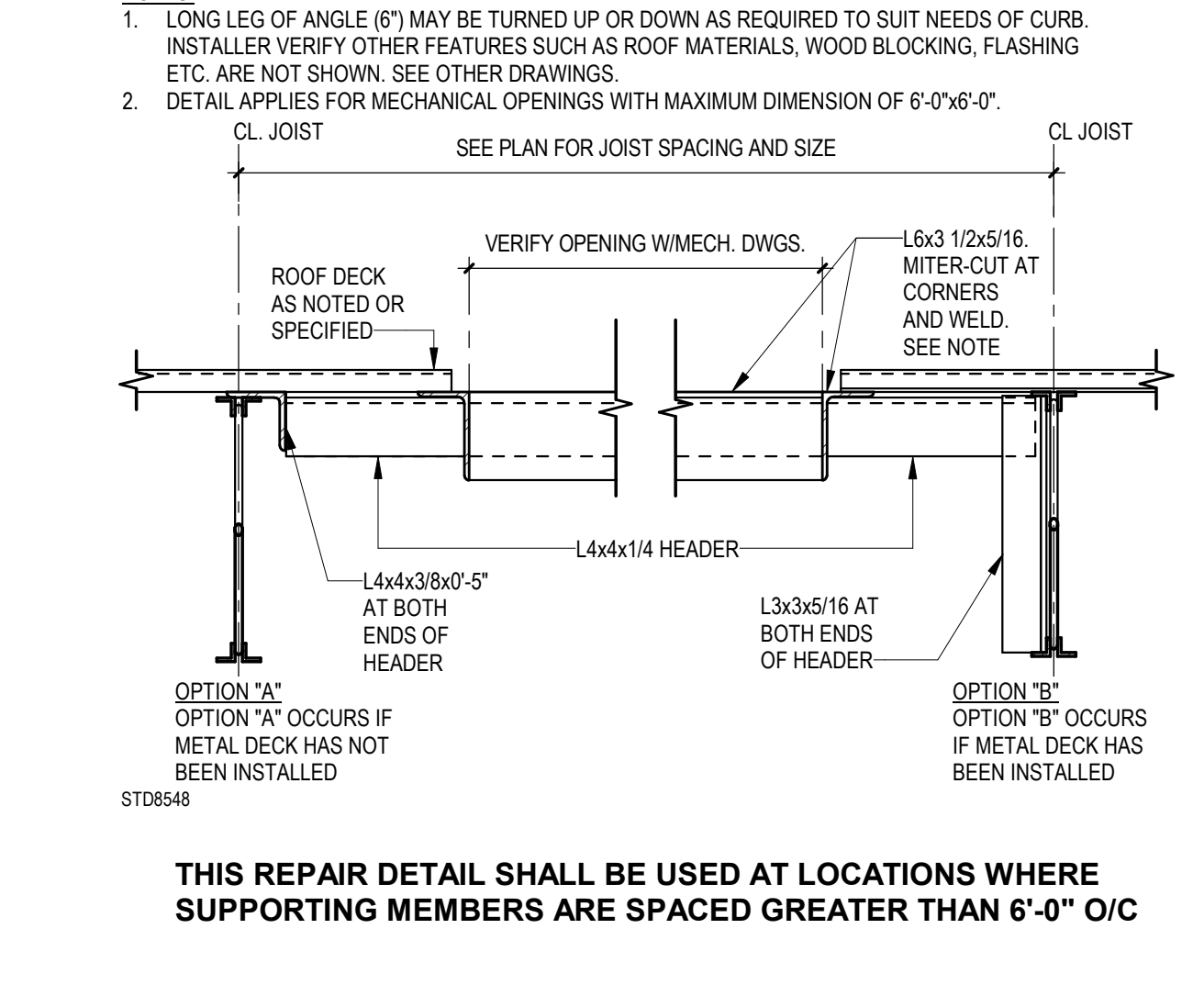
4
S102 REPAIR SECTION AT PENTHOUSE
1" = 1'-0"



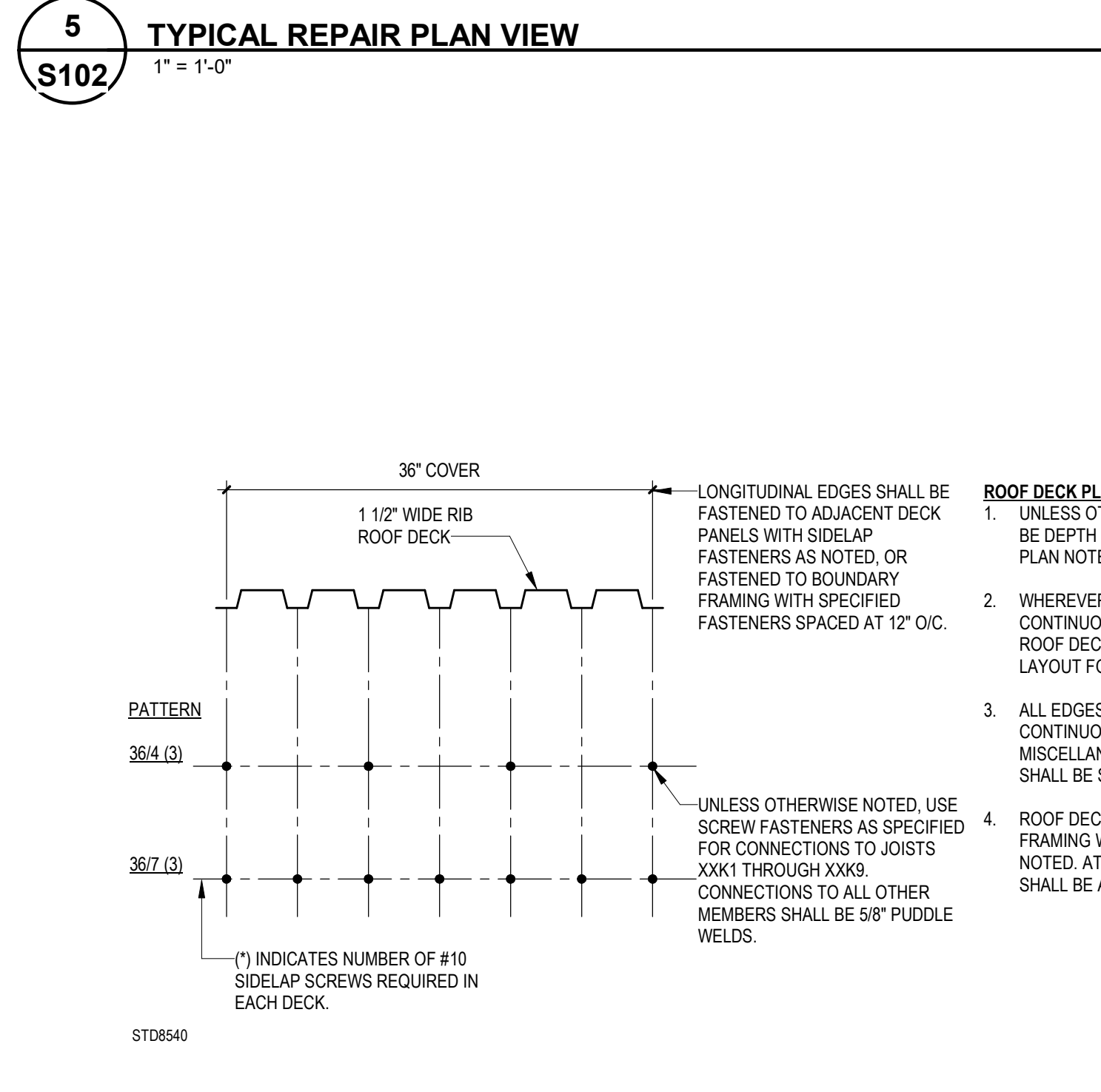
5
S102 TYPICAL REPAIR PLAN VIEW
1" = 1'-0"



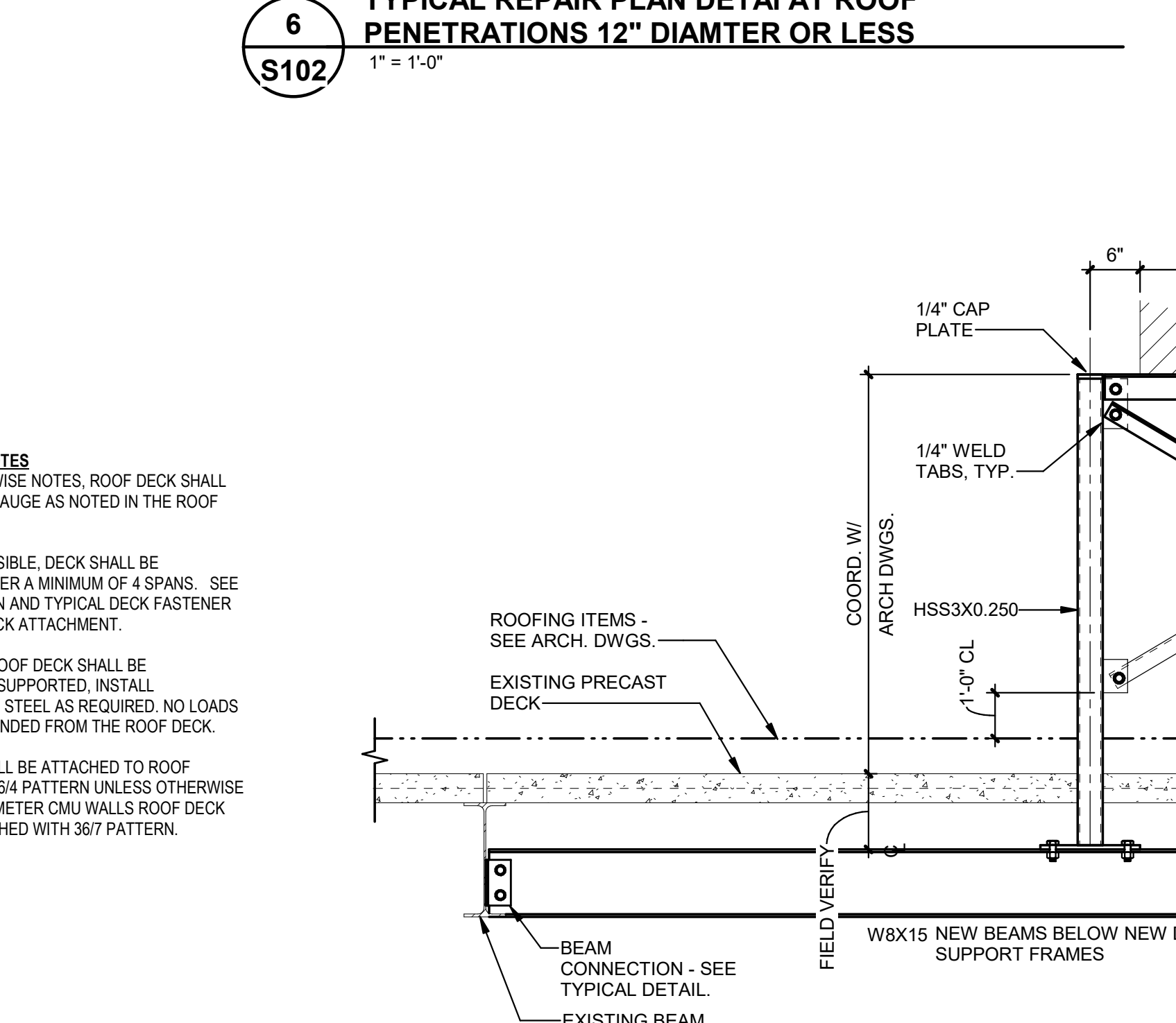
6
S102 TYPICAL REPAIR PLAN DETAIL AT ROOF PENETRATIONS 12" DIAMETER OR LESS
1" = 1'-0"



7
S102 TYPICAL DETAIL FRAMED ROOF OPENING REPAIR SECTION
1" = 1'-0"



8
S102 TYPICAL DETAIL ROOF DECK FASTENER LAYOUT
1" = 1'-0"



9
S102 RAISED EXISTING DUCT SUPPORT FRAME ELEVATION DETAIL
3/4" = 1'-0"

NOVUS
always new
ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE
NOVUSARCHITECTS.COM

SKA
CONSULTING ENGINEERS
SKA Consulting Engineers, Inc.
64 Peachtree Road, Suite 30
Asheville, NC 28803-3153
t: 828 274 4440
www.ska.com
NC License No. F-0508
SKA Project Number: 210208

PROFESSIONAL SEAL
D. GONZALEZ
REGISTERED PROFESSIONAL ENGINEER
9/15/2020

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER NORTH CAROLINA
REPAIR DETAILS

REVISIONS:

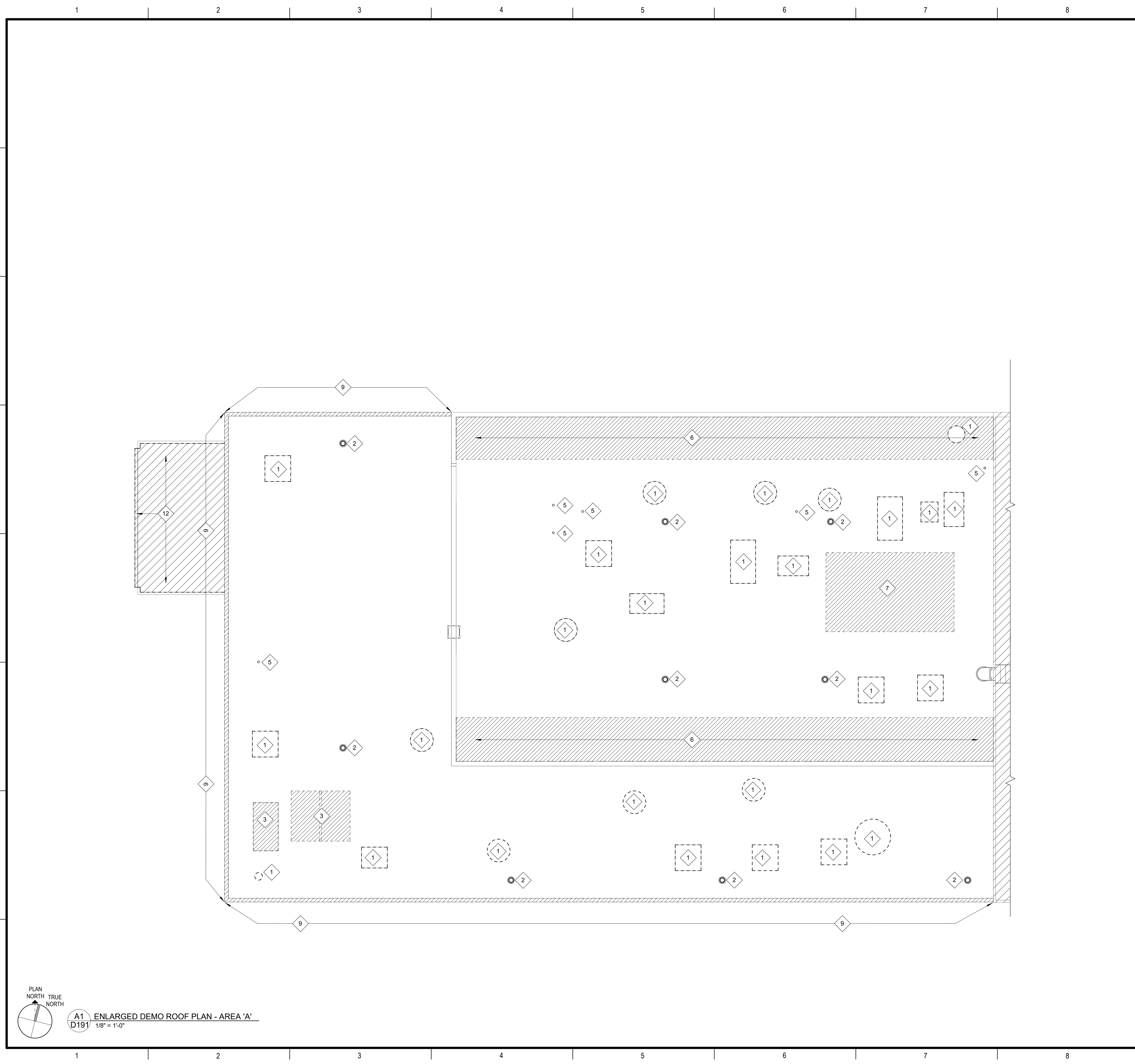
No.	Description	Date

DRAWN BY: RJW
CHECKED BY: DPF
DATE: SEPTEMBER 15, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
S102

CONSTRUCTION SET - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



ROOF DEMOLITION GENERAL NOTES

- ALL EXISTING ROOFS ARE TO BE REMOVED COMPLETE, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. ALL ROOF FLASHING, WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 07150.19 PREPARATION FOR RE-ROOFING, PREP FOR ROOF REPLACEMENT.
- EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF DEMOLITION PLANS. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT.
- DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
- REFER TO SPECIFICATIONS FOR OWNER'S HAZARDOUS MATERIALS REPORT, INCLUDED FOR INFORMATIONAL PURPOSES. NOTIFY ARCHITECT AND OWNER OF ANY SUSPICIOUS MATERIALS THAT MAY BE CONCEALED PRIOR TO DEMOLITION. THE OWNER WILL BE RESPONSIBLE FOR TESTING OF ANY ADDITIONAL MATERIALS AND PROPER ABATEMENT WILL BE REQUIRED.
- CONFIRM W/ ARCHITECT BEFORE REMOVING ANY STRUCTURAL STEEL ELEMENTS.

ROOF DEMOLITION KEYNOTES

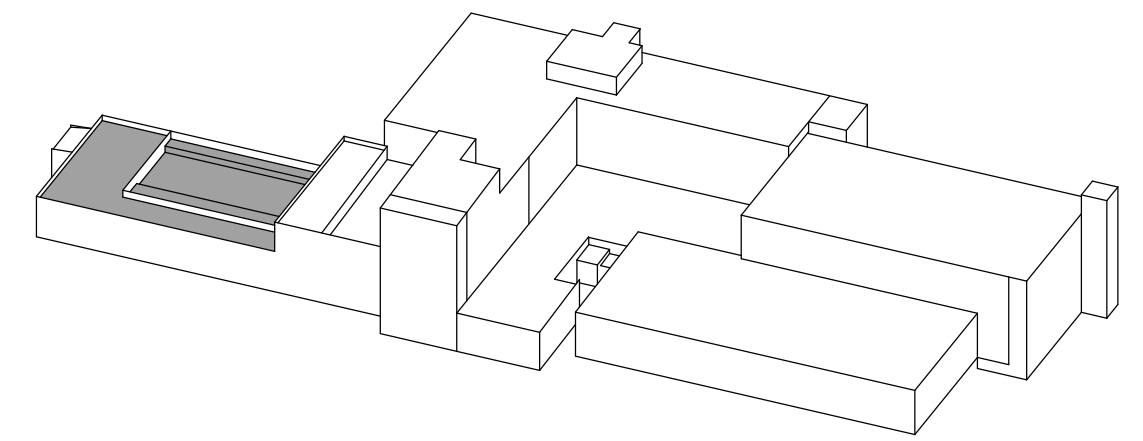
- REMOVE EXISTING ROOFTOP EQUIPMENT, ALL ASSOCIATED POWER AND PIPING AND ROOF TOP DUCTWORK. STORE ON SITE TO BE REINSTALLED AFTER NEW ROOFING SYSTEM IS INSTALLED. VERIFY EXACT LOCATION IN FIELD.
- REMOVE ALL ROOF DRAINS AS REQUIRED FOR INSTALLATION OF NEW ROOFING SYSTEM. EXISTING ROOF DRAIN LOCATION TO REMAIN (VERIFY EXACT LOCATION IN FIELD).
- REMOVE EXISTING ROOFTOP EQUIPMENT AND ALL ASSOCIATED POWER AND PIPING COMPLETE. PATCH AND REPAIR ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. CAP UTILITIES BELOW ROOF. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILS.
- REMOVE EXISTING SCREEN WALL AROUND EXISTING CHILLER TOWER (TO BE REMOVED). PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- EXISTING VENT THROUGH ROOF TO REMAIN. PROTECTS ALL VTR'S DURING REMOVAL OF EXISTING ROOF SYSTEM.
- REMOVE EXISTING MECHANICAL DUCTING ON ROOF COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- REMOVE EXISTING PENTHOUSE COMPLETE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED. CAP EXIST MECH VENT BELOW ROOF ASSEMBLY. SEE STRUCTURAL DRAWINGS.
- REMOVE EXISTING ROOF LADDER/STAIR COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- REMOVE EXISTING PARAPET TO BELOW ROOF LINE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED TO RECEIVE NEW ROOF EDGE.
- REMOVE EXISTING DOOR AND DOOR FRAME COMPLETE.
- REMOVE EXISTING WOOD DECKING AND PORTION OF PIPE HANDRAIL INDICATED. EXISTING ADJACENT CATWALK AND PIPE HANDRAIL ON CATWALK TO REMAIN.
- WORK OF ALTERNATE 3: REMOVE EXISTING STANDING SEAM METAL ROOF, GUTTER AND DOWNSPOUTS COMPLETE.
- REMOVE EXISTING ROOF DRAIN. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- REMOVE EXISTING ROOF CURB. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- EXISTING EQUIPMENT, EQUIPMENT PLATFORMS AND PLATFORM STEPS TO REMAIN IN PLACE.
- REMOVE EXISTING SCREEN WALL AND STRUCTURAL SUPPORTS AROUND EXISTING CHILLER. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- REMOVE EXISTING PARAPET CAP ONLY.
- REMOVE EXISTING EMERGENCY ADDRESS SYSTEM. COORDINATE A-B TECH FOR TEMPORARY REMOVAL AND STORAGE DURING RE-ROOFING.

TEMPORARY ROOF NOTES

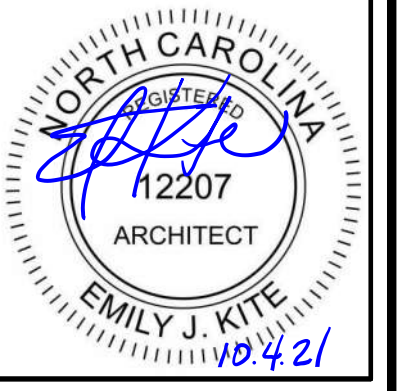
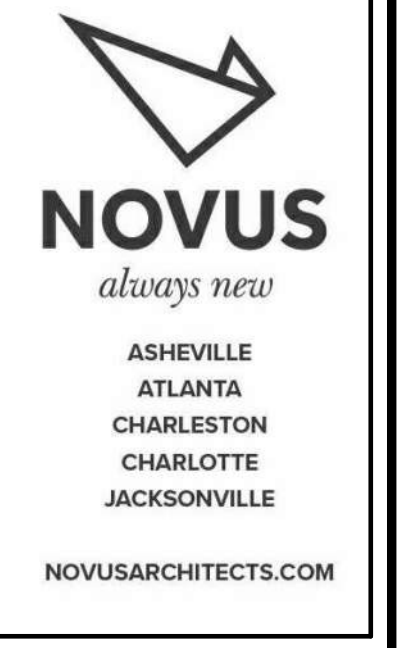
TEMPORARY ROOF TO MAINTAIN A DRY BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. DEMOLITION EFFORTS SHOULD OCCUR SUCH THAT PORTIONS OF THE ROOF CAN BE COMPLETED OR TEMPORARILY PROTECTED AND DRY ON AN ONGOING BASIS AS WORK PROGRESSES. SEE SPECIFICATIONS FOR APPROVED TEMPORARY ROOF SYSTEMS, AT THE CONTRACTOR'S DISCRETION.

ROOF DEMOLITION LEGEND

- EXISTING EQUIPMENT TO BE REMOVED AND REINSTALLED AFTER NEW ROOFING SYSTEM IS IN PLACE.
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM. SEE STRUCTURAL DRAWINGS



KEYPLAN - AREA 'A'
D191 AND A191



**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ENLARGED DEMO ROOF PLAN - AREA 'A'

REVISIONS:

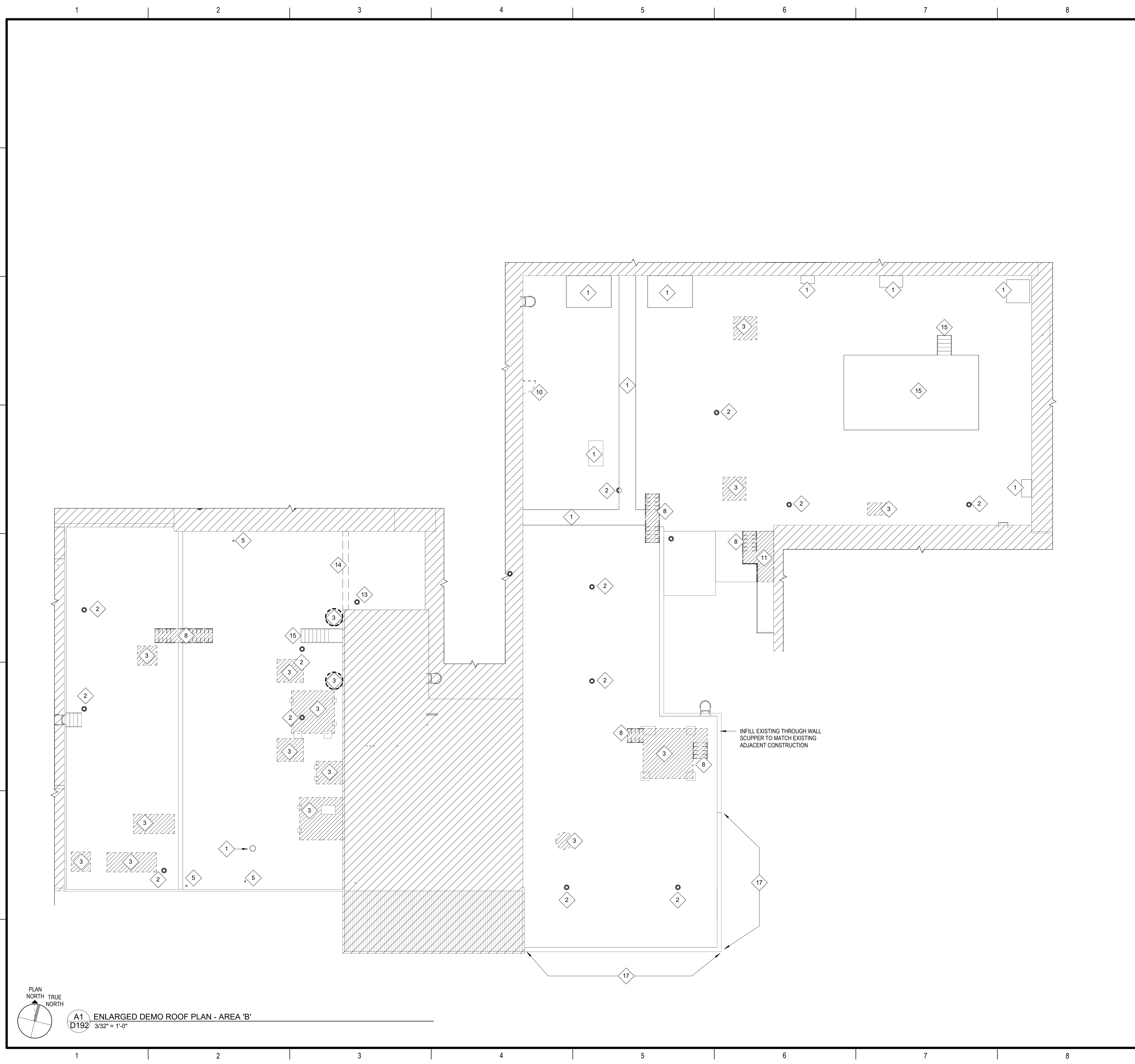
No.	Description	Date

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
D191

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



ROOF DEMOLITION GENERAL NOTES

1. ALL EXISTING ROOFS ARE TO BE REMOVED COMPLETE, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. ALL ROOF FLASHING, WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 070150.19 PREPARATION FOR RE-ROOFING. PREP FOR ROOF REPLACEMENT.
2. EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF DEMOLITION PLANS. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT.
3. DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
4. REFER TO SPECIFICATIONS FOR OWNER'S HAZARDOUS MATERIALS REPORT. INCLUDED FOR INFORMATIONAL PURPOSES. NOTIFY ARCHITECT AND OWNER OF ANY SUSPICIOUS MATERIALS THAT MAY BE CONCEALED PRIOR TO DEMOLITION. THE OWNER WILL BE RESPONSIBLE FOR TESTING OF ANY ADDITIONAL MATERIALS AND PROPER ABATEMENT WILL BE REQUIRED.
5. CONFIRM W/ ARCHITECT BEFORE REMOVING ANY STRUCTURAL STEEL ELEMENTS.

ROOF DEMOLITION KEYNOTES

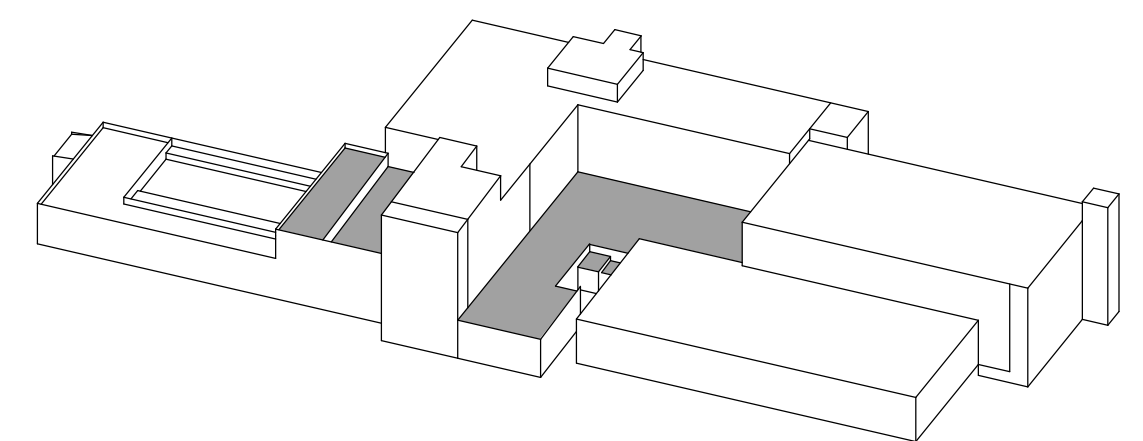
- 1 REMOVE EXISTING ROOFTOP EQUIPMENT, ALL ASSOCIATED POWER AND PIPING AND ROOF TOP DUCTWORK. STORE ON SITE TO BE REINSTALLED AFTER NEW ROOFING SYSTEM IS INSTALLED. VERIFY EXACT LOCATION IN FIELD.
- 2 REMOVE ALL ROOF DRAINS AS REQUIRED FOR INSTALLATION OF NEW ROOFING SYSTEM. EXISTING ROOF DRAIN LOCATION TO REMAIN (VERIFY EXACT LOCATION IN FIELD).
- 3 REMOVE EXISTING ROOFTOP EQUIPMENT AND ALL ASSOCIATED POWER AND PIPING COMPLETE. PATCH AND REPAIR ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. CAP UTILITIES BELOW ROOF. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILS
- 4 REMOVE EXISTING SCREEN WALL AROUND EXISTING CHILLER TOWER (TO BE REMOVED). PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- 5 EXISTING VENT THROUGH ROOF TO REMAIN. PROTECTS ALL VTR'S DURING REMOVAL OF EXISTING ROOF SYSTEM.
- 6 REMOVE EXISTING MECHANICAL DUCTING ON ROOF COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- 7 REMOVE EXISTING PENTHOUSE COMPLETE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED. CAP EXIST MECH VENT BELOW ROOF ASSEMBLY. SEE STRUCTURAL DRAWINGS.
- 8 REMOVE EXISTING ROOF LADDER/STAIR COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- 9 REMOVE EXISTING PARAPET TO BELOW ROOF LINE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED TO RECEIVE NEW ROOF EDGE.
- 10 REMOVE EXISTING DOOR AND DOOR FRAME COMPLETE.
- 11 REMOVE EXISTING WOOD DECKING AND PORTION OF PIPE HANDRAIL INDICATED. EXISTING ADJACENT CATWALK AND PIPE HANDRAIL ON CATWALK TO REMAIN.
- 12 WORK OF ALTERNATE 3: REMOVE EXISTING STANDING SEAM METAL ROOF, GUTTER AND DOWNSPOUTS COMPLETE.
- 13 REMOVE EXISTING ROOF DRAIN. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- 14 REMOVE EXISTING ROOF CURB. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- 15 EXISTING EQUIPMENT, EQUIPMENT PLATFORMS AND PLATFORM STEPS TO REMAIN IN PLACE.
- 16 REMOVE EXISTING SCREEN WALL AND STRUCTURAL SUPPORTS AROUND EXISTING CHILLER. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- 17 REMOVE EXISTING PARAPET CAP ONLY.
- 18 REMOVE EXISTING EMERGENCY ADDRESS SYSTEM. COORDINATE A-B TECH FOR TEMPORARY REMOVAL AND STORAGE DURING RE-ROOFING.

TEMPORARY ROOF NOTES

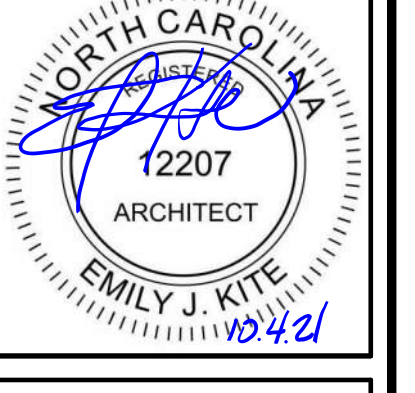
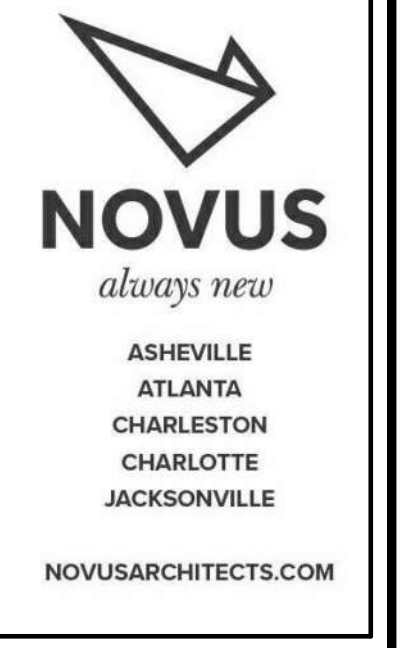
TEMPORARY ROOF TO MAINTAIN A DRY BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. DEMOLITION EFFORTS SHOULD OCCUR SUCH THAT PORTIONS OF THE ROOF CAN BE COMPLETED OR TEMPORARILY PROTECTED AND DRY ON AN ONGOING BASIS AS WORK PROGRESSES. SEE SPECIFICATIONS FOR APPROVED TEMPORARY ROOF SYSTEMS, AT THE CONTRACTOR'S DISCRETION.

ROOF DEMOLITION LEGEND

- EXISTING EQUIPMENT TO BE REMOVED AND REINSTALLED AFTER NEW ROOFING SYSTEM IS IN PLACE.
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM. SEE STRUCTURAL DRAWINGS



KEYPLAN - AREA 'B'
D192 AND A192



**TCC BUILDING
ROOF REPLACEMENT**
 ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
 CANDLER, NORTH CAROLINA
ENLARGED DEMO ROOF PLAN - AREA 'B'

REVISIONS:

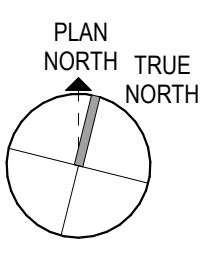
No.	Description	Date

DRAWN BY: SPV
 CHECKED BY: EJK
 DATE: OCTOBER 1, 2021
 NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
D192

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



A1 ENLARGED DEMO ROOF PLAN - AREA 'C1'
D193 1/8" = 1'-0"

A5 ENLARGED DEMO ROOF PLAN - AREA 'C2'
D193 1/8" = 1'-0"

ROOF DEMO KEYNOTES

SEE SHEET D191 FOR ROOF DEMOLITION KEYNOTES

ROOF DEMOLITION GENERAL NOTES

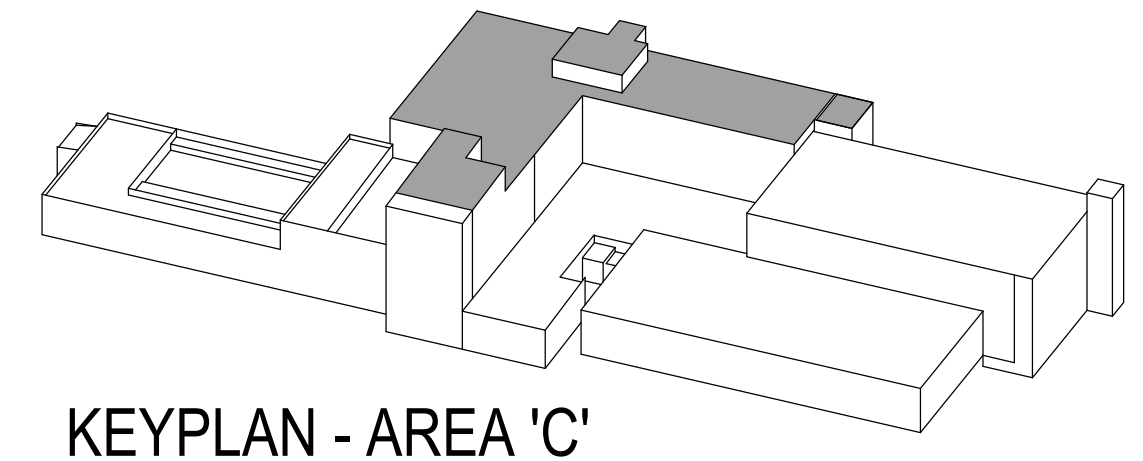
1. ALL EXISTING ROOFS ARE TO BE REMOVED COMPLETE, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. ALL ROOF FLASHING, WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 070150.19 PREPARATION FOR RE-ROOFING, PREP FOR ROOF REPLACEMENT.
2. EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF DEMOLITION PLANS. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT.
3. DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
4. REFER TO SPECIFICATIONS FOR OWNER'S HAZARDOUS MATERIALS REPORT, INCLUDED FOR INFORMATIONAL PURPOSES. NOTIFY ARCHITECT AND OWNER OF ANY SUSPICIOUS MATERIALS THAT MAY BE CONCEALED PRIOR TO DEMOLITION. THE OWNER WILL BE RESPONSIBLE FOR TESTING OF ANY ADDITIONAL MATERIALS AND PROPER ABATEMENT WILL BE REQUIRED.

TEMPORARY ROOF NOTES STEEL ELEMENTS.

TEMPORARY ROOF TO MAINTAIN A DRY BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. DEMOLITION EFFORTS SHOULD OCCUR SUCH THAT PORTIONS OF THE ROOF CAN BE COMPLETED OR TEMPORARILY PROTECTED AND DRY ON AN ONGOING BASIS AS WORK PROGRESSES. SEE SPECIFICATIONS FOR APPROVED TEMPORARY ROOF SYSTEMS, AT THE CONTRACTOR'S DISCRETION.

ROOF DEMOLITION LEGEND

- EXISTING EQUIPMENT TO BE REMOVED AND REINSTALLED AFTER NEW ROOFING SYSTEM IS IN PLACE.
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM. SEE STRUCTURAL DRAWINGS



KEYPLAN - AREA 'C'
D193 AND A193

**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ENLARGED DEMO ROOF PLAN - AREA 'C'

REVISIONS:

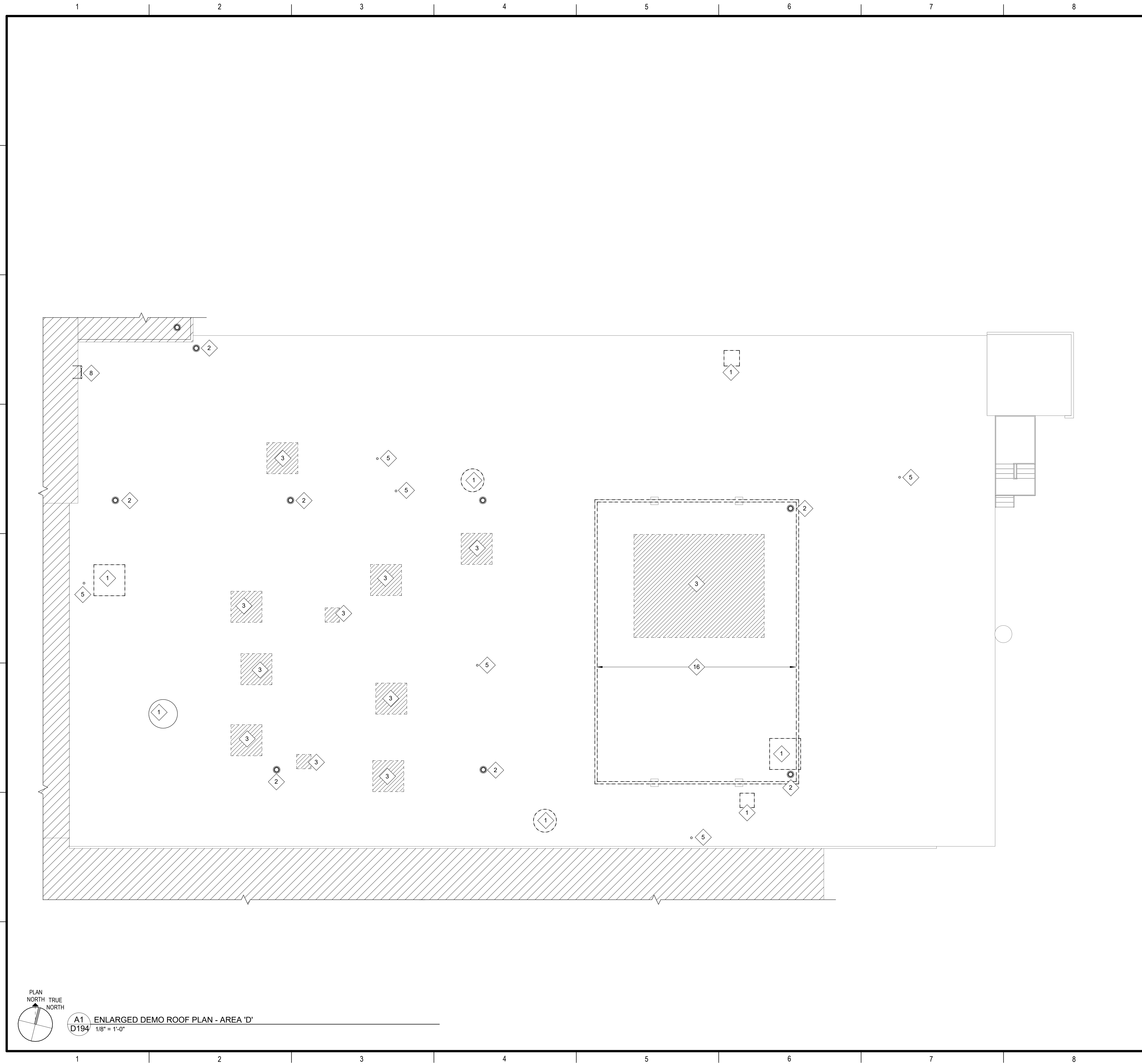
No.	Description	Date

DRAWN BY: _____ Author
CHECKED BY: _____ Checker
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
D193

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



A1 ENLARGED DEMO ROOF PLAN - AREA 'D'
D194 1/8" = 1'-0"

ROOF DEMOLITION GENERAL NOTES

- ALL EXISTING ROOFS ARE TO BE REMOVED COMPLETE, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. ALL ROOF FLASHING, WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 070150-19 PREPARATION FOR RE-ROOFING, PREP FOR ROOF REPLACEMENT.
- EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF DEMOLITION PLANS. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT.
- DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
- REFER TO SPECIFICATIONS FOR OWNER'S HAZARDOUS MATERIALS REPORT, INCLUDED FOR INFORMATIONAL PURPOSES. NOTIFY ARCHITECT AND OWNER OF ANY SUSPICIOUS MATERIALS THAT MAY BE CONCEALED PRIOR TO DEMOLITION. THE OWNER WILL BE RESPONSIBLE FOR TESTING OF ANY ADDITIONAL MATERIALS AND PROPER ABATEMENT WILL BE REQUIRED.
- CONFIRM W/ ARCHITECT BEFORE REMOVING ANY STRUCTURAL STEEL ELEMENTS.

ROOF DEMOLITION KEYNOTES

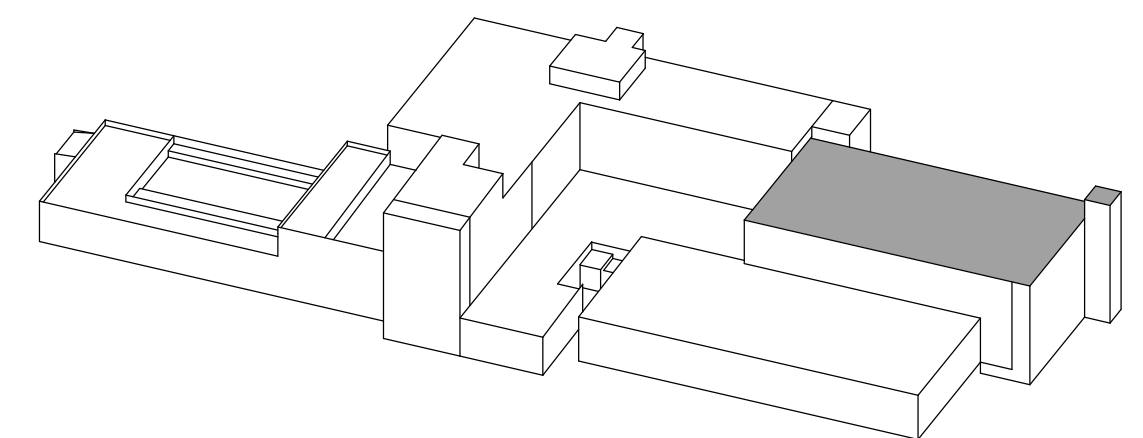
- REMOVE EXISTING ROOFTOP EQUIPMENT, ALL ASSOCIATED POWER AND PIPING AND ROOF TOP DUCTWORK. STORE ON SITE TO BE REINSTALLED AFTER NEW ROOFING SYSTEM IS INSTALLED. VERIFY EXACT LOCATION IN FIELD.
- REMOVE ALL ROOF DRAINS AS REQUIRED FOR INSTALLATION OF NEW ROOFING SYSTEM. EXISTING ROOF DRAIN LOCATION TO REMAIN (VERIFY EXACT LOCATION IN FIELD).
- REMOVE EXISTING ROOFTOP EQUIPMENT AND ALL ASSOCIATED POWER AND PIPING COMPLETE. PATCH AND REPAIR ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. CAP UTILITIES BELOW ROOF. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILS.
- REMOVE EXISTING SCREEN WALL AROUND EXISTING CHILLER TOWER (TO BE REMOVED). PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- EXISTING VENT THROUGH ROOF TO REMAIN. PROTECTS ALL VTRS DURING REMOVAL OF EXISTING ROOF SYSTEM.
- REMOVE EXISTING MECHANICAL DUCTING ON ROOF COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- REMOVE EXISTING PENTHOUSE COMPLETE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED. CAP EXIST MECH VENT BELOW ROOF ASSEMBLY. SEE STRUCTURAL DRAWINGS.
- REMOVE EXISTING ROOF LADDER/STAIR COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- REMOVE EXISTING PARAPET TO BELOW ROOF LINE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED TO RECEIVE NEW ROOF EDGE.
- REMOVE EXISTING DOOR AND DOOR FRAME COMPLETE.
- REMOVE EXISTING WOOD DECKING AND PORTION OF PIPE HANDRAIL INDICATED. EXISTING ADJACENT CATWALK AND PIPE HANDRAIL ON CATWALK TO REMAIN.
- WORK OF ALTERNATE 3: REMOVE EXISTING STANDING SEAM METAL ROOF, GUTTER AND DOWNSPOUTS COMPLETE.
- REMOVE EXISTING ROOF DRAIN. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- REMOVE EXISTING ROOF CURB. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- EXISTING EQUIPMENT, EQUIPMENT PLATFORMS AND PLATFORM STEPS TO REMAIN IN PLACE.
- REMOVE EXISTING SCREEN WALL AND STRUCTURAL SUPPORTS AROUND EXISTING CHILLER. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
- REMOVE EXISTING PARAPET CAP ONLY.
- REMOVE EXISTING EMERGENCY ADDRESS SYSTEM. COORDINATE A-B TECH FOR TEMPORARY REMOVAL AND STORAGE DURING RE-ROOFING.

TEMPORARY ROOF NOTES

TEMPORARY ROOF TO MAINTAIN A DRY BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. DEMOLITION EFFORTS SHOULD OCCUR SUCH THAT PORTIONS OF THE ROOF CAN BE COMPLETED OR TEMPORARILY PROTECTED AND DRY ON AN ONGOING BASIS AS WORK PROGRESSES. SEE SPECIFICATIONS FOR APPROVED TEMPORARY ROOF SYSTEMS, AT THE CONTRACTOR'S DISCRETION.

ROOF DEMOLITION LEGEND

- EXISTING EQUIPMENT TO BE REMOVED AND REINSTALLED AFTER NEW ROOFING SYSTEM IS IN PLACE.
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM. SEE STRUCTURAL DRAWINGS



KEYPLAN - AREA 'D'
D194 AND A194



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ENLARGED DEMO ROOF PLAN - AREA 'D'

No.	Description	Date

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
D194

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

ROOF DEMOLITION GENERAL NOTES

1. ALL EXISTING ROOFS ARE TO BE REMOVED COMPLETE, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. ALL ROOF FLASHING, WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 070150.19 PREPARATION FOR RE-ROOFING, PREP FOR ROOF REPLACEMENT.
2. EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF DEMOLITION PLANS. THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC. THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT.
3. DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
4. REFER TO SPECIFICATIONS FOR OWNER'S HAZARDOUS MATERIALS REPORT, INCLUDED FOR INFORMATIONAL PURPOSES. NOTIFY ARCHITECT AND OWNER OF ANY SUSPICIOUS MATERIALS THAT MAY BE CONCEALED PRIOR TO DEMOLITION. THE OWNER WILL BE RESPONSIBLE FOR TESTING OF ANY ADDITIONAL MATERIALS AND PROPER ABATEMENT WILL BE REQUIRED.
5. CONFIRM W/ ARCHITECT BEFORE REMOVING ANY STRUCTURAL STEEL ELEMENTS.



TEMPORARY ROOF NOTES

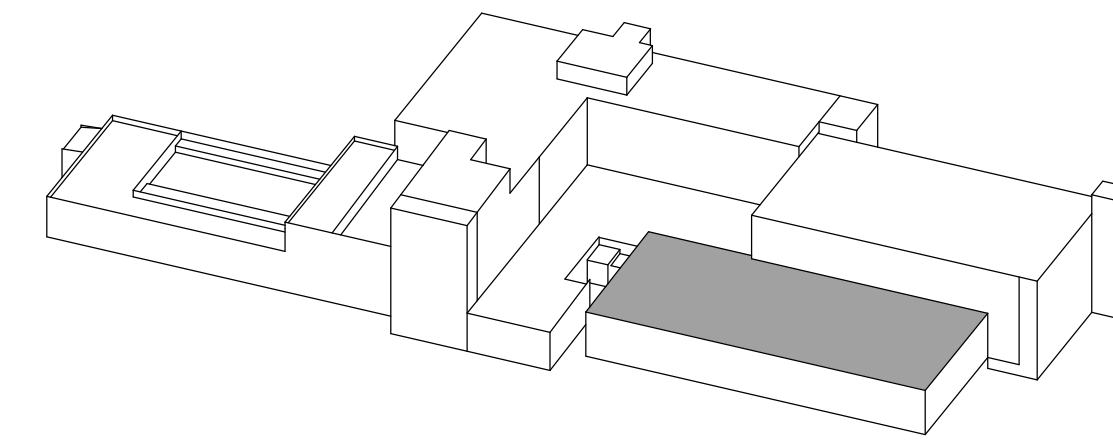
TEMPORARY ROOF TO MAINTAIN A DRY BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. DEMOLITION EFFORTS SHOULD OCCUR SUCH THAT PORTIONS OF THE ROOF CAN BE COMPLETED OR TEMPORARILY PROTECTED AND DRY ON AN ONGOING BASIS AS WORK PROGRESSES. SEE SPECIFICATIONS FOR APPROVED TEMPORARY ROOF SYSTEMS, AT THE CONTRACTOR'S DISCRETION.

ROOF DEMOLITION KEYNOTES

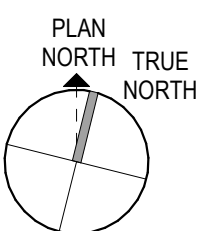
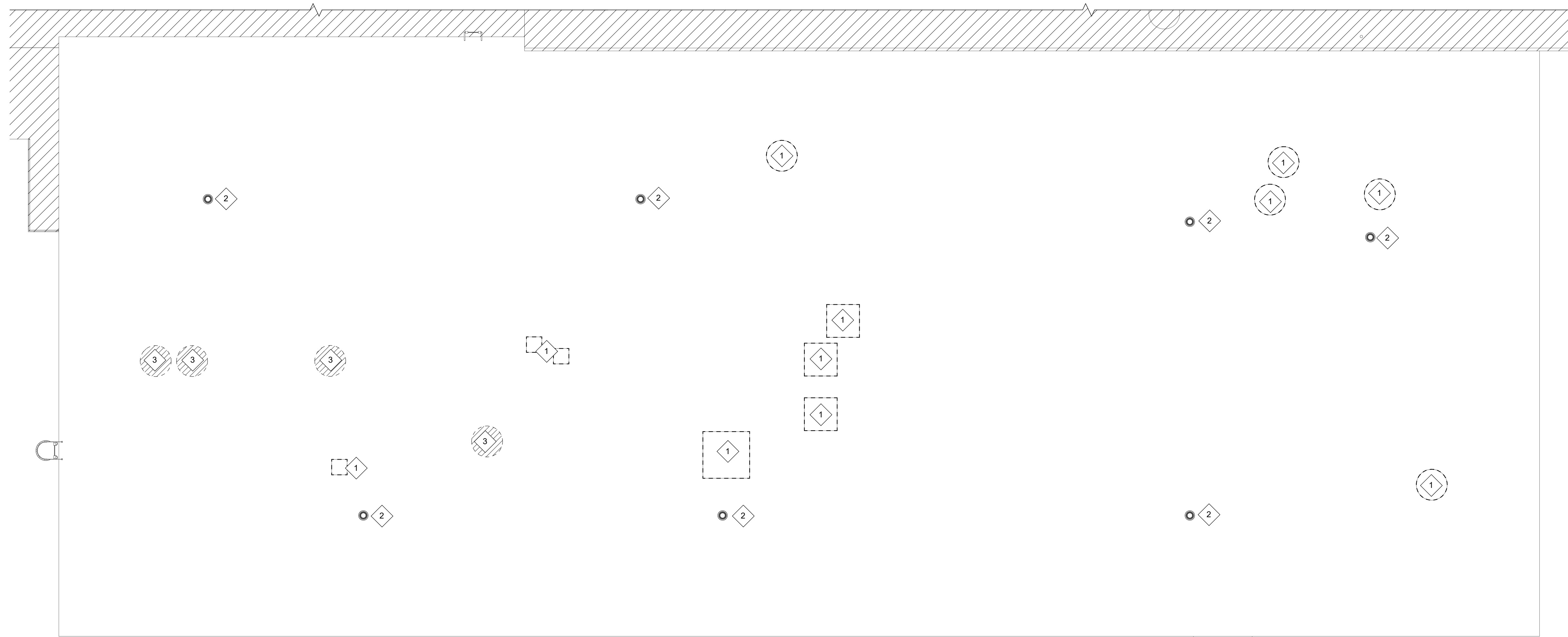
1. REMOVE EXISTING ROOFTOP EQUIPMENT, ALL ASSOCIATED POWER AND PIPING AND ROOF TOP DUCTWORK. STORE ON SITE TO BE REINSTALLED AFTER NEW ROOFING SYSTEM IS INSTALLED. VERIFY EXACT LOCATION IN FIELD.
2. REMOVE ALL ROOF DRAINS AS REQUIRED FOR INSTALLATION OF NEW ROOFING SYSTEM. EXISTING ROOF DRAIN LOCATION TO REMAIN (VERIFY EXACT LOCATION IN FIELD).
3. REMOVE EXISTING ROOFTOP EQUIPMENT AND ALL ASSOCIATED POWER AND PIPING COMPLETE. PATCH AND REPAIR ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS. CAP UTILITIES BELOW ROOF. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILS.
4. REMOVE EXISTING SCREEN WALL AROUND EXISTING CHILLER TOWER (TO BE REMOVED). PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
5. EXISTING VENT THROUGH ROOF TO REMAIN. PROTECTS ALL VTR'S DURING REMOVAL OF EXISTING ROOF SYSTEM.
6. REMOVE EXISTING MECHANICAL DUCTING ON ROOF COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
7. REMOVE EXISTING PENTHOUSE COMPLETE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED. CAP EXIST MECH VENT BELOW ROOF ASSEMBLY. SEE STRUCTURAL DRAWINGS.
8. REMOVE EXISTING ROOF LADDER/STAIR COMPLETE. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED. SEE STRUCTURAL DRAWINGS.
9. REMOVE EXISTING PARAPET TO BELOW ROOF LINE. PATCH AND REPAIR EXISTING ROOF AS REQUIRED TO RECEIVE NEW ROOF EDGE.
10. REMOVE EXISTING DOOR AND DOOR FRAME COMPLETE.
11. REMOVE EXISTING WOOD DECKING AND PORTION OF PIPE HANDRAIL INDICATED. EXISTING ADJACENT CATWALK AND PIPE HANDRAIL ON CATWALK TO REMAIN.
12. WORK OF ALTERNATE 3: REMOVE EXISTING STANDING SEAM METAL ROOF, GUTTER AND DOWNSPOUTS COMPLETE.
13. REMOVE EXISTING ROOF DRAIN. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
14. REMOVE EXISTING ROOF CURB. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
15. EXISTING EQUIPMENT, EQUIPMENT PLATFORMS AND PLATFORM STEPS TO REMAIN IN PLACE.
16. REMOVE EXISTING SCREEN WALL AND STRUCTURAL SUPPORTS AROUND EXISTING CHILLER. PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED.
17. REMOVE EXISTING PARAPET CAP ONLY.
18. REMOVE EXISTING EMERGENCY ADDRESS SYSTEM. COORDINATE A-B TECH FOR TEMPORARY REMOVAL AND STORAGE DURING RE-ROOFING.

ROOF DEMOLITION LEGEND

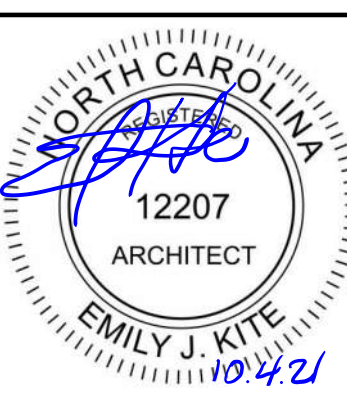
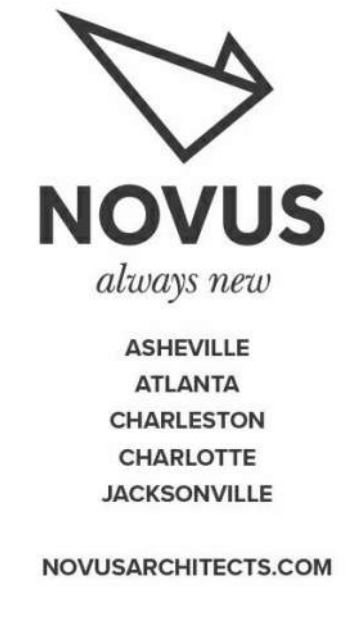
-  EXISTING EQUIPMENT TO BE REMOVED AND REINSTALLED AFTER NEW ROOFING SYSTEM IS IN PLACE.
-  EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM. SEE STRUCTURAL DRAWINGS



KEYPLAN - AREA 'E'
D195 AND A195




A1 ENLARGED DEMO ROOF PLAN - AREA 'E'
D195 1/8" = 1'-0"



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ENLARGED DEMO ROOF PLAN - AREA 'E'

REVISIONS: 		
No.	Description	Date

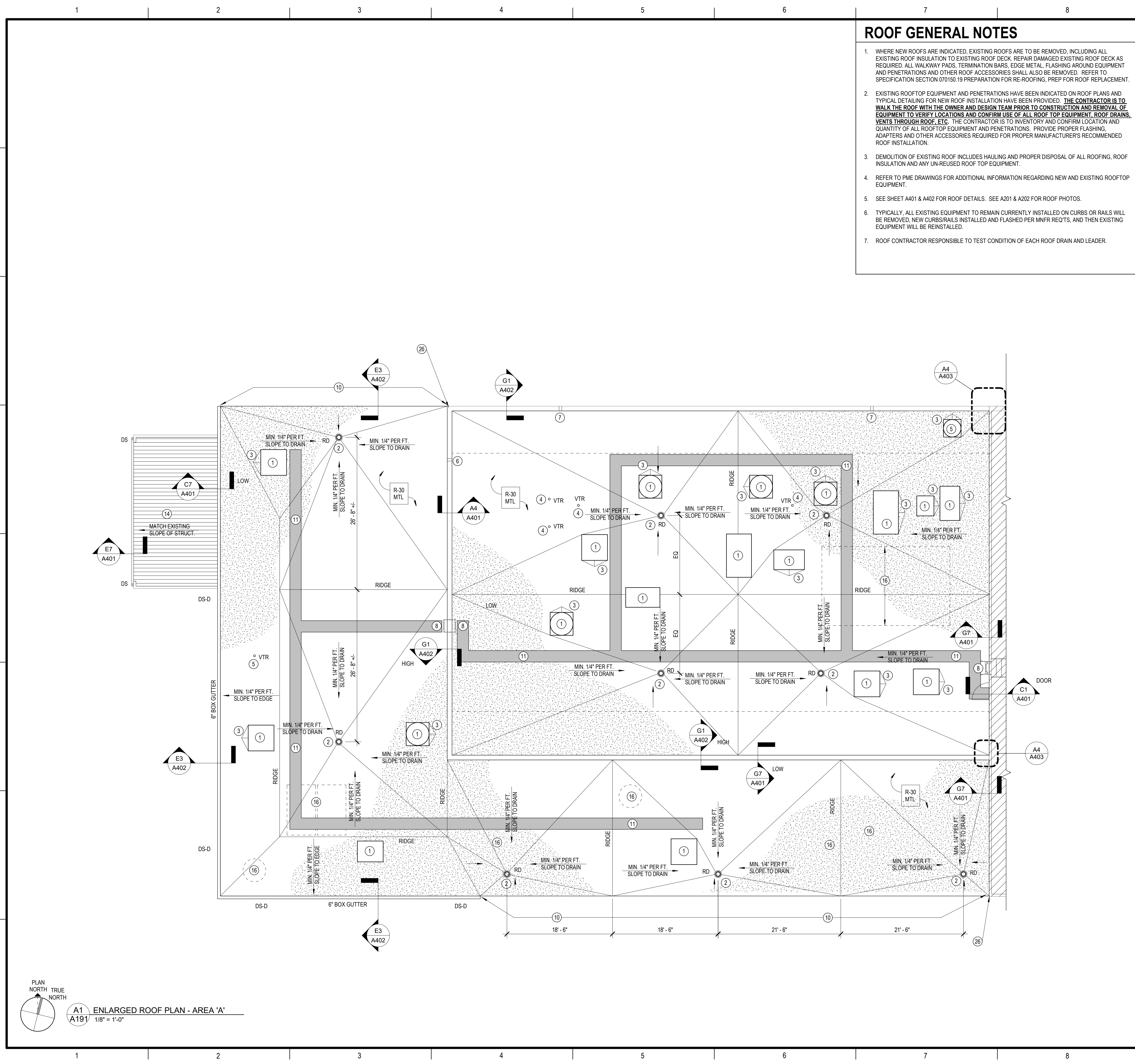
DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021

NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
D195

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



ROOF GENERAL NOTES

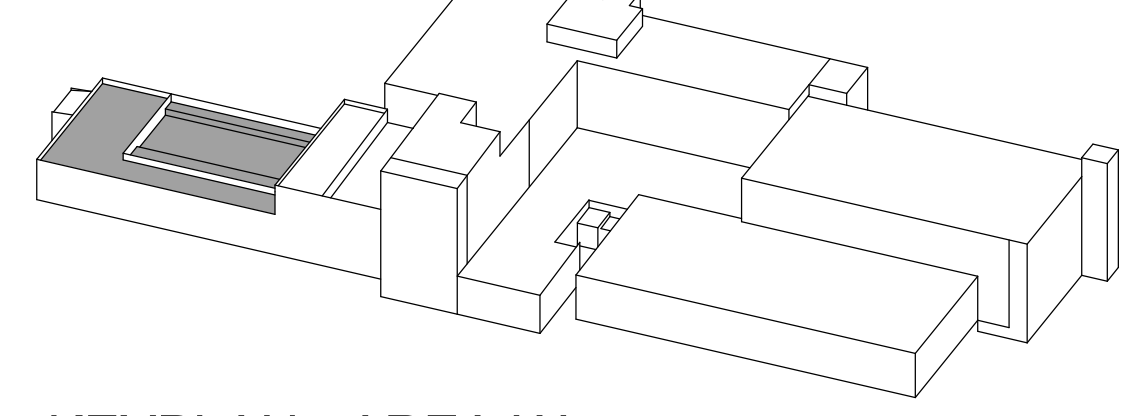
- WHERE NEW ROOFS ARE INDICATED, EXISTING ROOFS ARE TO BE REMOVED, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. ALL WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 070150.19 PREPARATION FOR RE-ROOFING, PREP FOR ROOF REPLACEMENT.
- EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF PLANS AND TYPICAL DETAILING FOR NEW ROOF INSTALLATION HAVE BEEN PROVIDED. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT AND PENETRATIONS. PROVIDE PROPER FLASHING, ADAPTERS AND OTHER ACCESSORIES REQUIRED FOR PROPER MANUFACTURER'S RECOMMENDED ROOF INSTALLATION.
- DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
- REFER TO PME DRAWINGS FOR ADDITIONAL INFORMATION REGARDING NEW AND EXISTING ROOFTOP EQUIPMENT.
- SEE SHEET A401 & A402 FOR ROOF DETAILS. SEE A201 & A202 FOR ROOF PHOTOS.
- TYPICALLY, ALL EXISTING EQUIPMENT TO REMAIN CURRENTLY INSTALLED ON CURBS OR RAILS WILL BE REMOVED, NEW CURBS/RAILS INSTALLED AND FLASHED PER MNFR REQTS, AND THEN EXISTING EQUIPMENT WILL BE REINSTALLED.
- ROOF CONTRACTOR RESPONSIBLE TO TEST CONDITION OF EACH ROOF DRAIN AND LEADER.

NEW WORK KEYNOTES

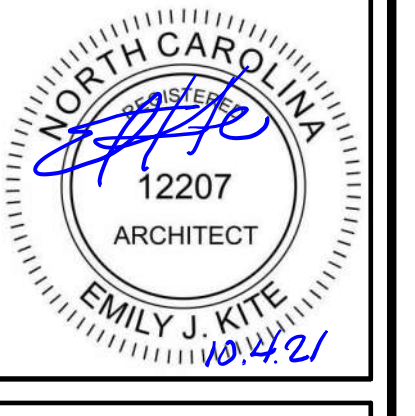
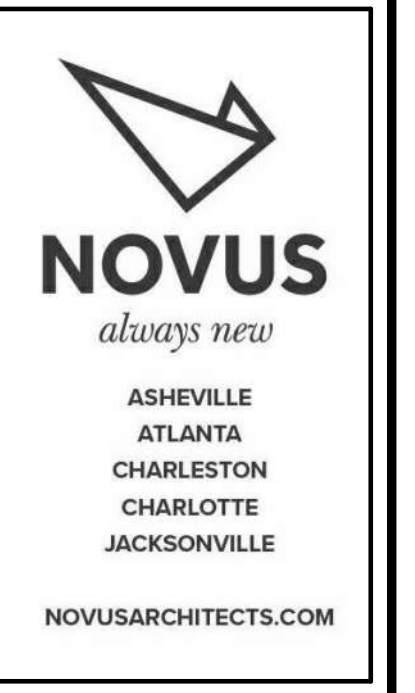
- REINSTALL EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED POWER AND PIPING THAT WAS REMOVED AND STORED ON SITE. VERIFY EXACT LOCATION IN FIELD. - COORDINATE ADAPTER AS REQUIRED TO BE COMPATIBLE WITH EXISTING EQUIPMENT AND MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAILS ON SHEET C9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- INSTALL RETROFIT ROOF DRAINS IN EXISTING ROOF DRAIN LOCATIONS (VERIFY EXACT LOCATION IN FIELD). NEW ROOF DRAIN TO TIE INTO EXISTING ROOF DRAIN LEADER. SEE DETAIL E8/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- PROVIDE MEMBRANE FLASHING AND CRICKET DETAILED PER ROOF MNFR. RECOMMENDATIONS AT ALL UP-SLOPE SIDES OF EQUIPMENT CURBS, TYP.
- EXISTING VENT THROUGH ROOF TO REMAIN. VERIFY EXACT LOCATIONS IN FIELD. - COORDINATE ADAPTER AS REQUIRED TO BE COMPATIBLE WITH MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAIL E9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- NEW CURB FOR EXISTING EXHAUST FAN IN SAME LOCATION.
- COVER EXISTING THROUGH WALL SCUPPER WITH NEW ROOF INSULATION.
- NEW THROUGH WALL SCUPPER. SEE DETAIL A1/A403
- CLEAN, HALT RUST AND PAINT EXISTING ROOF LADDER/STAIR TO REMAIN. RAISE/ALTER LADDER CONNECTION TO WALL IF REQD TO ACCOMMODATE NEW TAPERED INSULATION AND SIDEWALL FLASHING. RAISE, RATHER THAN FLASH OVER EXISTING CONNECTIONS.
- NEW GALV. STEEL LADDER. SEE DETAIL E6/A402.
- NEW ROOF EDGE WHERE EXISTING PARAPET WAS DEMOLISHED. SEE DETAIL A4/A401.
- PROVIDE WALK PADS.
- EXISTING CATWALK AND PORTION OF PIPE HANDRAIL TO REMAIN.
- NEW GUARD RAIL. PROVIDE "PORTABLE" (NON-PENETRATING) TYPE BASES AND OSHA COMPLIANT GUARDRAIL AT NOTED LOCATIONS
- NEW STANDING SEAM METAL ROOF SYSTEM TO MATCH EXISTING, ON EXISTING ROOF STRUCTURE. PROVIDE NEW GUTTER AND DOWNSPOUTS. WORK OF ALTERNATE 3
- EXISTING CHIMNEY TO REMAIN. MAINTAIN EXISTING CABLE CONNECTION POINTS. NOTIFY ARCHITECT IF NEW CONNECTION POINTS ARE REQUIRED
- PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED BY REMOVAL OF EXISTING ROOF TOP EQUIPMENT AND EQUIPMENT PLATFORMS.
- ROOFING SYSTEM EXTENDS UNDER EXISTING RAISED DUCT. SEE PME DRAWINGS FOR MORE INFO. DUCT TO BE RAISED HIGHER
- EXISTING DUCT TO BE REINSTALLED ON STANDS. SEE PME.
- FLASH TO EXISTING PLATFORM SUPPORT LEGS. SEE DETAIL E9/A401, SIMILAR.
- EXISTING ROOF TOP EQUIPMENT TO REMAIN IN PLACE. FLASH AS REQUIRED AROUND EQUIPMENT.
- FLASH OVER EXISTING DEMOLISHED SCREEN WALL AND MECHANICAL PLATFORM SUPPORT PADS. SEE DETAIL G6/A402
- NEW GALV. STEEL STEPS. MATCH EXISTING STEPS TO REMAIN. SEE DETAIL A9/A402
- NEW THROUGH WALL SCUPPER. SEE DETAIL C1/A403
- REPLACE EXISTING ROOF DECK. BUILD UP INSULATION TO MATCH ADJACENT ROOF HEIGHT AND ACCOMMODATE NEW SLOPE. SEE PHOTOS ON A203. COORDINATE FINAL INSTALLATION WITH EXISTING CHILLER PIPING.
- GRIND EXISTING STEEL DAMS OFF.
- TOOTH IN SALVAGED BRICK AT NEW MASONRY CORNER. PROVIDE CUT IN Z FLASHING PER C4/A402
- NEW GALV STEEL PIPE COLUMNS ATTACHED TO DECK. REUSE EXISTING HORIZONTAL DUCT STAND MEMBERS TO CREATE DUCT STAND AT NEW HEIGHT. SEE PME AND STRUCTURAL DRAWINGS.
- COORDINATE WALL FLASHING AT DUCT WITH PME DRAWINGS. NEW ROOF SLOPE CONFLICTS WITH EXISTING INSTALLATION.
- REINSTALL EMERGENCY ADDRESS SYSTEM. SEE ELECTRICAL DRAWINGS.

ROOF PLAN LEGEND

- EXISTING EQUIPMENT TO BE REMOVED. EXTEND EXISTING CURB MIN 8" ABOVE NEW ROOF ELEVATION, AS REQD. CAP IN PLACE. SEE MECHANICAL DRAWINGS AND DETAIL E4/A401
- EXISTING EQUIPMENT AND EQUIPMENT CURBS TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQD TO BE COVERED BY NEW ROOFING SYSTEM.
- NEW 6" BOX GUTTER. SEE DETAIL EL A402. DS = 3" X 4" DOWNSPOUT. DS-D REQUIRES PIPING TO DAYLIGHT. DS-S REQUIRES A SPLASHBOCK.
- INTERNAL TAPERED INSULATION RIDGE
- WALK PADS
- MINIMUM ROOF INSULATION VALUE FOR ROOF. DECK = DECK TYPE
- NEW DOOR. SEE A190 FOR DOOR AND FRAME INFORMATION



KEYPLAN - AREA 'A'
D191 AND A191



**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ENLARGED ROOF PLAN - AREA 'A'

REVISIONS:		
No.	Description	Date

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

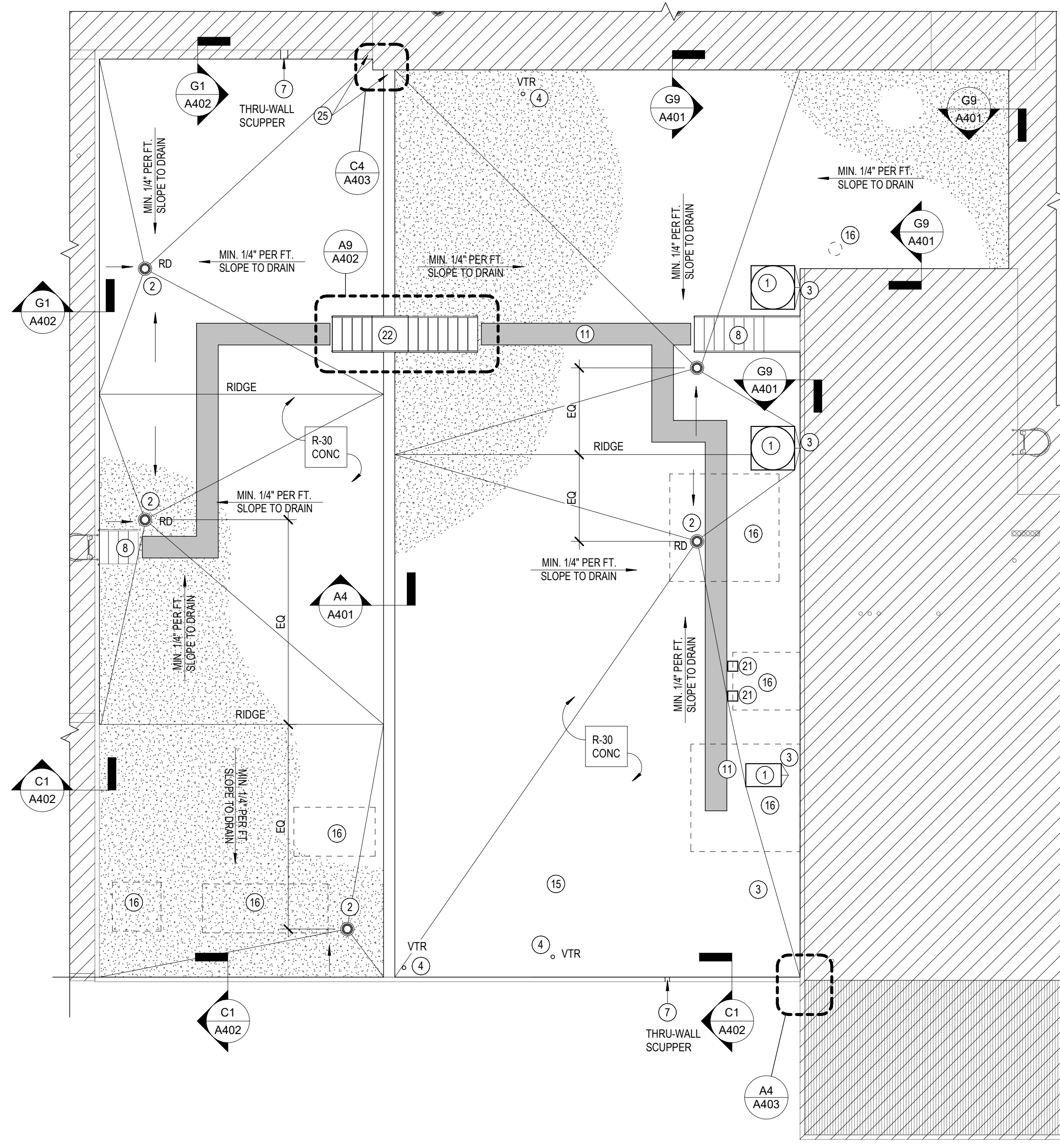
SHEET NUMBER
A191

CONTRACT DRAWINGS

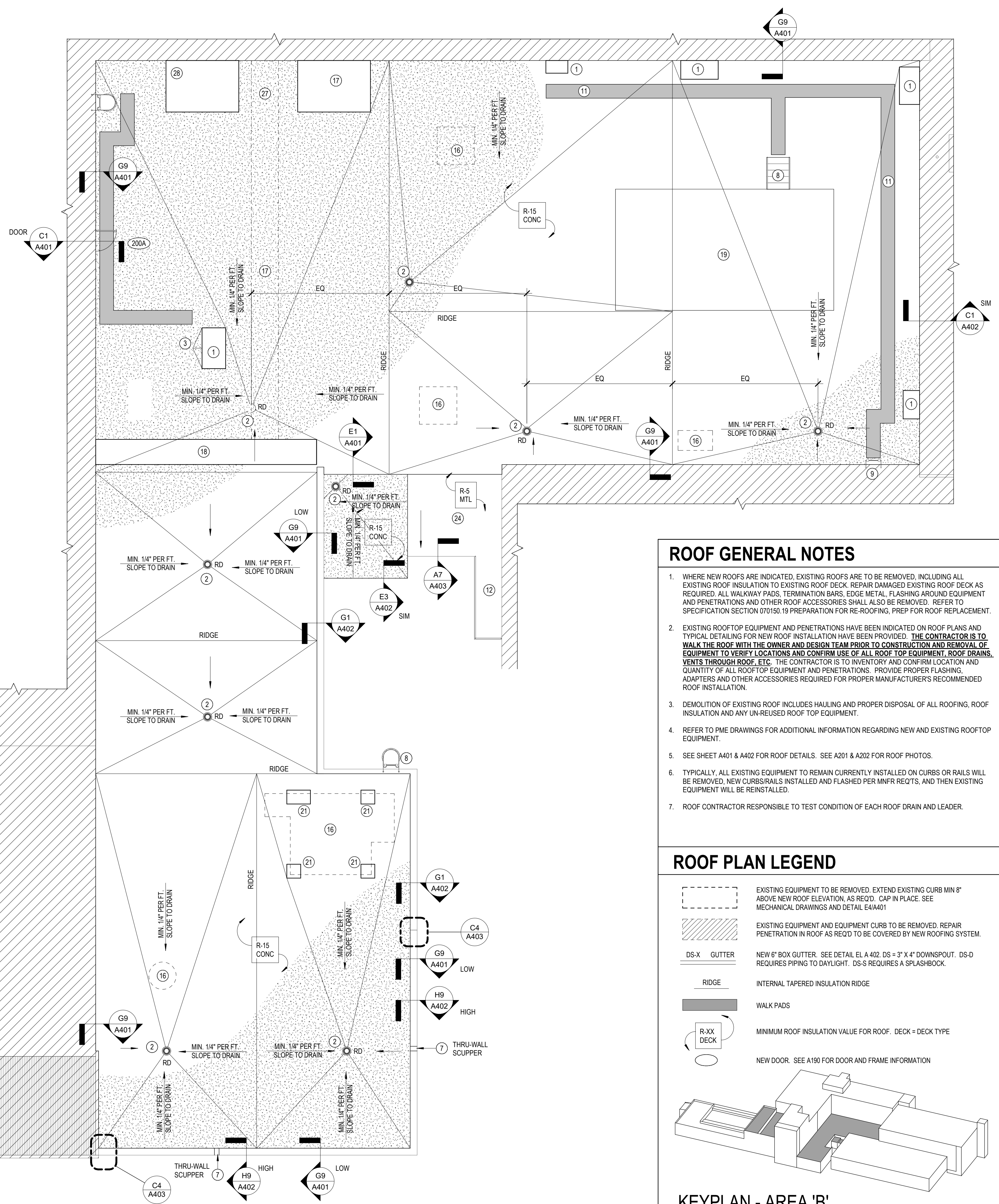
ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

NEW WORK KEYNOTES

- 1 REINSTALL EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED POWER AND PIPING THAT WAS REMOVED AND STORED ON SITE. VERIFY EXACT LOCATION IN FIELD. COORDINATE ADAPTER AS REQUIRED TO BE COMPATIBLE WITH EXISTING EQUIPMENT AND MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAILS ON SHEET C9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- 2 INSTALL RETROFIT ROOF DRAINS IN EXISTING ROOF DRAIN LOCATIONS (VERIFY EXACT LOCATION IN FIELD). NEW ROOF DRAIN TO TIE INTO EXISTING ROOF DRAIN LEADER. SEE DETAIL E8/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- 3 PROVIDE MEMBRANE FLASHING AND CRICKET DETAILED PER ROOF MNFR. RECOMMENDATIONS AT ALL UP-SLOPE SIDES OF EQUIPMENT CURBS, TYP.
- 4 EXISTING VENT THROUGH ROOF TO REMAIN. VERIFY EXACT LOCATIONS IN FIELD. COORDINATE ADAPTER AS REQUIRED TO BE COMPATIBLE WITH MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAIL E9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- 5 NEW CURB FOR EXISTING EXHAUST FAN IN SAME LOCATION.
- 6 COVER EXISTING THROUGH WALL SCUPPER WITH NEW ROOF INSULATION.
- 7 NEW THROUGH WALL SCUPPER. SEE DETAIL A1/A403
- 8 CLEAN, HALT RUST AND PAINT EXISTING ROOF LADDER/STAIR TO REMAIN. RAISE/ALTER LADDER CONNECTION TO WALL IF REQ'D TO ACCOMMODATE NEW TAPERED INSULATION AND SIDEWALL FLASHING. RAISE, RATHER THAN FLASH OVER EXISTING CONNECTIONS.
- 9 NEW GALV. STEEL LADDER. SEE DETAIL E6/A402
- 10 NEW ROOF EDGE WHERE EXISTING PARAPET WAS DEMOLISHED. SEE DETAIL A4/A401.
- 11 PROVIDE WALK PADS.
- 12 EXISTING CATWALK AND PORTION OF PIPE HANDRAIL TO REMAIN.
- 13 NEW GUARD RAIL. PROVIDE "PORTABLE" (NON-PENETRATING) TYPE BASES AND OSHA COMPLIANT GUARDRAIL AT NOTED LOCATIONS.
- 14 NEW STANDING SEAM METAL ROOF SYSTEM TO MATCH EXISTING. ON EXISTING ROOF STRUCTURE. PROVIDE NEW GUTTER AND DOWNSPOUTS. WORK OF ALTERNATE 3
- 15 EXISTING CHIMNEY TO REMAIN. MAINTAIN EXISTING CABLE CONNECTION POINTS. NOTIFY ARCHITECT IF NEW CONNECTION POINTS ARE REQUIRED.
- 16 PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED BY REMOVAL OF EXISTING ROOF TOP EQUIPMENT AND EQUIPMENT PLATFORMS.
- 17 ROOFING SYSTEM EXTENDS UNDER EXISTING RAISED DUCT. SEE PME DRAWINGS FOR MORE INFO. DUCT TO BE RAISED HIGHER
- 18 EXISTING DUCT TO BE REINSTALLED ON STANDS. SEE PME.
- 19 FLASH TO EXISTING PLATFORM SUPPORT LEGS. SEE DETAIL E9/A401, SIMILAR.
- 20 EXISTING ROOF TOP EQUIPMENT TO REMAIN IN PLACE. FLASH AS REQUIRED AROUND EQUIPMENT.
- 21 FLASH OVER EXISTING DEMOLISHED SCREEN WALL AND MECHANICAL PLATFORM SUPPORT PADS. SEE DETAIL G6/A402
- 22 NEW GALV. STEEL STEPS. MATCH EXISTING STEPS TO REMAIN. SEE DETAIL A9/A402
- 23 NEW THROUGH WALL SCUPPER. SEE DETAIL C1/A403
- 24 REPLACE EXISTING ROOF DECK. BUILD UP INSULATION TO MATCH ADJACENT ROOF HEIGHT AND ACCOMMODATE NEW SLOPE. SEE PHOTOS ON A203. COORDINATE FINAL INSTALLATION WITH EXISTING CHILLER PIPING.
- 25 GRIND EXISTING STEEL DAMS OFF.
- 26 TOOTH IN SALVAGED BRICK AT NEW MASONRY CORNER. PROVIDE CUT IN Z FLASHING PER C4/A402
- 27 NEW GALV STEEL PIPE COLUMNS ATTACHED TO DECK. REUSE EXISTING HORIZONTAL DUCT STAND MEMBERS TO CREATE DUCT STAND AT NEW HEIGHT. SEE PME AND STRUCTURAL DRAWINGS.
- 28 COORDINATE WALL FLASHING AT DUCT WITH PME DRAWINGS. NEW ROOF SLOPE CONFLICTS WITH EXISTING INSTALLATION.
- 29 REINSTALL EMERGENCY ADDRESS SYSTEM. SEE ELECTRICAL DRAWINGS.



PLAN NORTH TRUE NORTH
A1 ENLARGED ROOF PLAN - AREA 'B'
A192 1/8" = 1'-0"

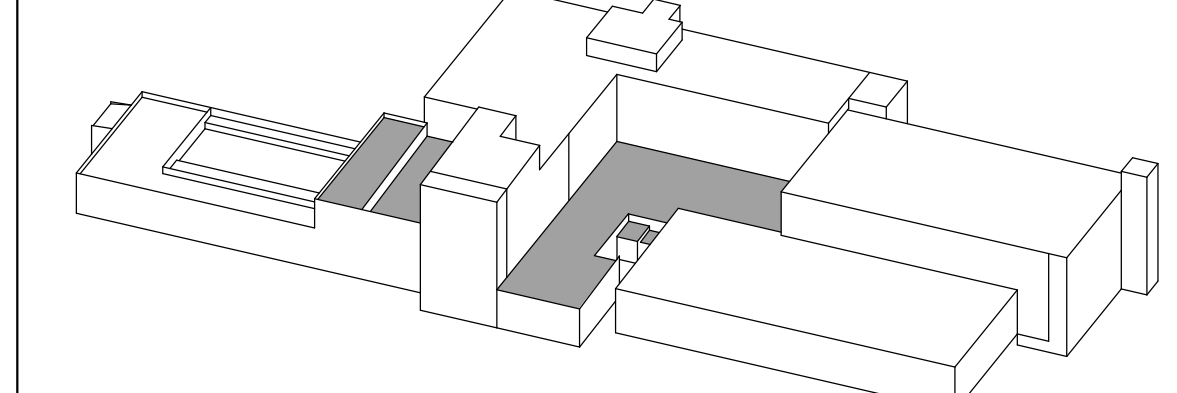


ROOF GENERAL NOTES

1. WHERE NEW ROOFS ARE INDICATED, EXISTING ROOFS ARE TO BE REMOVED, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. ALL WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 07150.19 PREPARATION FOR RE-ROOFING. PREP FOR ROOF REPLACEMENT.
2. EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF PLANS AND TYPICAL DETAILING FOR NEW ROOF INSTALLATION HAVE BEEN PROVIDED. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT AND PENETRATIONS. PROVIDE PROPER FLASHING, ADAPTERS AND OTHER ACCESSORIES REQUIRED FOR PROPER MANUFACTURER'S RECOMMENDED ROOF INSTALLATION.
3. DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
4. REFER TO PME DRAWINGS FOR ADDITIONAL INFORMATION REGARDING NEW AND EXISTING ROOFTOP EQUIPMENT.
5. SEE SHEET A401 & A402 FOR ROOF DETAILS. SEE A201 & A202 FOR ROOF PHOTOS.
6. TYPICALLY, ALL EXISTING EQUIPMENT TO REMAIN CURRENTLY INSTALLED ON CURBS OR RAILS WILL BE REMOVED. NEW CURBS/RAILS INSTALLED AND FLASHED PER MNFR REQ'TS. THEN EXISTING EQUIPMENT WILL BE REINSTALLED.
7. ROOF CONTRACTOR RESPONSIBLE TO TEST CONDITION OF EACH ROOF DRAIN AND LEADER.

ROOF PLAN LEGEND

- EXISTING EQUIPMENT TO BE REMOVED. EXTEND EXISTING CURB MIN 8" ABOVE NEW ROOF ELEVATION, AS REQ'D. CAP IN PLACE. SEE MECHANICAL DRAWINGS AND DETAIL E4/A401
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM.
- GUTTER
- INTERNAL TAPERED INSULATION RIDGE
- WALK PADS
- MINIMUM ROOF INSULATION VALUE FOR ROOF. DECK = DECK TYPE
- NEW DOOR. SEE A190 FOR DOOR AND FRAME INFORMATION



KEYPLAN - AREA 'B'
D192 AND A192

NOVUS
always new
 ASHEVILLE
 ATLANTA
 CHARLESTON
 CHARLOTTE
 JACKSONVILLE
 NOVUSARCHITECTS.COM

NORTH CAROLINA
 REGISTERED ARCHITECTURE COMPANY
 52930
 NORTH CAROLINA
 BEWASHEVILLE

NORTH CAROLINA
 REGISTERED ARCHITECT
 12207
 ARCHITECT
 EMILY J. KITE
 10.4.21

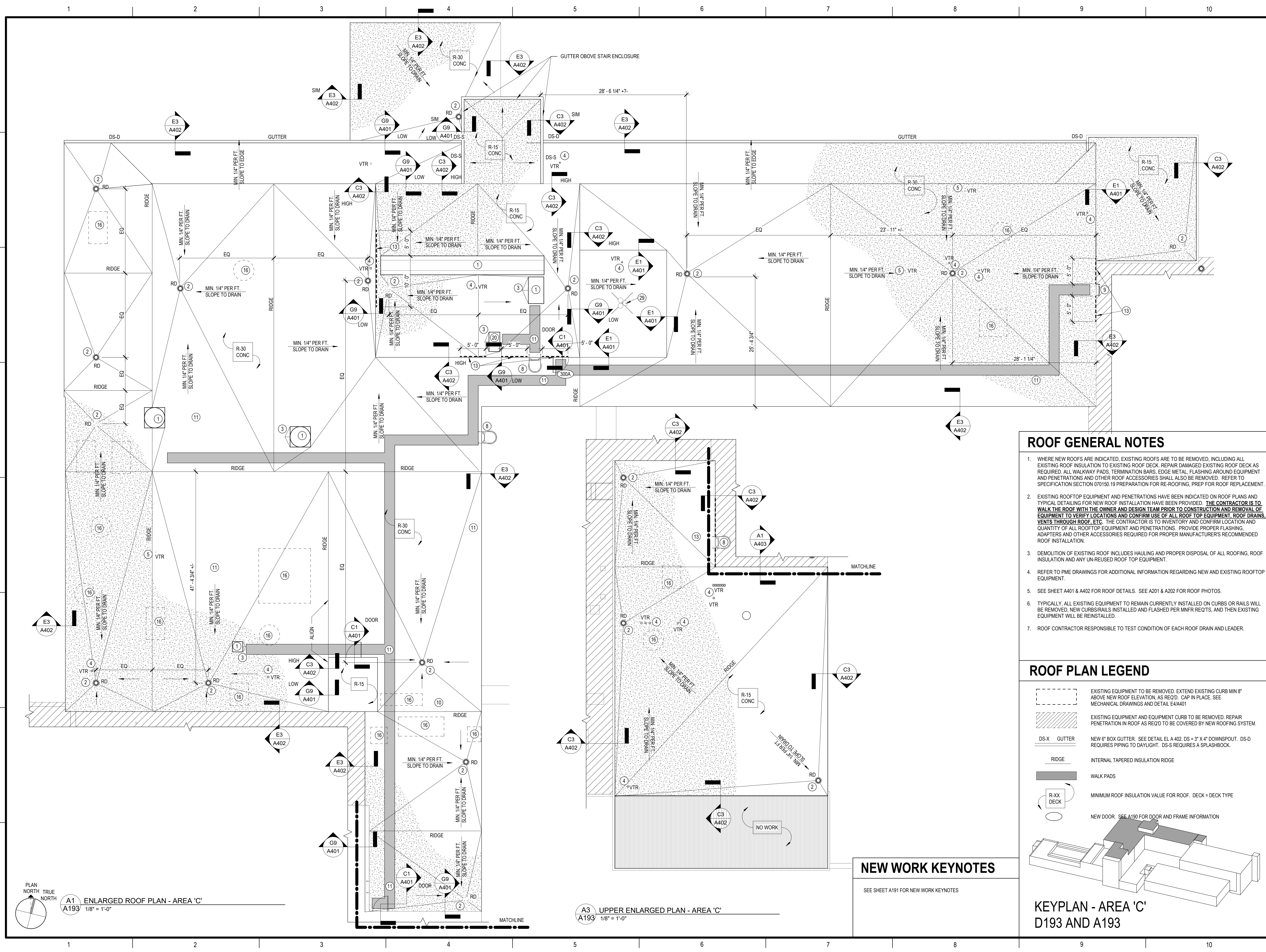
TCC BUILDING
ROOF REPLACEMENT
 ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
 CANDLER, NORTH CAROLINA
ENLARGED ROOF PLAN - AREA 'B'

REVISIONS:		
No.	Description	Date

DRAWN BY: SPV
 CHECKED BY: EJK
 DATE: OCTOBER 1, 2021
 NOVUS JOB NUMBER
2015-3113.07
 SHEET NUMBER
A192

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



ROOF GENERAL NOTES

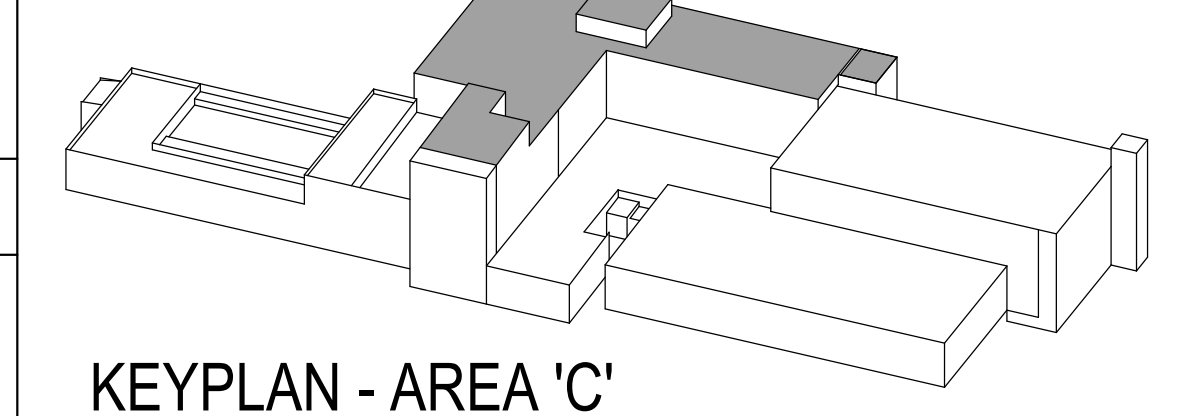
- WHERE NEW ROOFS ARE INDICATED, EXISTING ROOFS ARE TO BE REMOVED, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. ALL WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 07150.19 PREPARATION FOR RE-ROOFING. PREP FOR ROOF REPLACEMENT.
- EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF PLANS AND TYPICAL DETAILING FOR NEW ROOF INSTALLATION HAVE BEEN PROVIDED. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT AND PENETRATIONS. PROVIDE PROPER FLASHING, ADAPTERS AND OTHER ACCESSORIES REQUIRED FOR PROPER MANUFACTURER'S RECOMMENDED ROOF INSTALLATION.
- DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
- REFER TO PME DRAWINGS FOR ADDITIONAL INFORMATION REGARDING NEW AND EXISTING ROOFTOP EQUIPMENT.
- SEE SHEET A401 & A402 FOR ROOF DETAILS. SEE A201 & A202 FOR ROOF PHOTOS.
- TYPICALLY, ALL EXISTING EQUIPMENT TO REMAIN CURRENTLY INSTALLED ON CURBS OR RAILS WILL BE REMOVED, NEW CURBS/RAILS INSTALLED AND FLASHED PER MFR REQTS, AND THEN EXISTING EQUIPMENT WILL BE REINSTALLED.
- ROOF CONTRACTOR RESPONSIBLE TO TEST CONDITION OF EACH ROOF DRAIN AND LEADER.

ROOF PLAN LEGEND

- EXISTING EQUIPMENT TO BE REMOVED. EXTEND EXISTING CURB MIN 6" ABOVE NEW ROOF ELEVATION, AS REQ'D. CAP IN PLACE. SEE MECHANICAL DRAWINGS AND DETAIL E4/A401
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM.
- GUTTER NEW 6" BOX GUTTER. SEE DETAIL E4 A 402. DS = 3" X 4" DOWNSPOUT. DS-D REQUIRES PIPING TO DAYLIGHT. DS-S REQUIRES A SPLASHBCK.
- INTERNAL TAPERED INSULATION RIDGE
- WALK PADS
- MINIMUM ROOF INSULATION VALUE FOR ROOF. DECK = DECK TYPE
- NEW DOOR. SEE A190 FOR DOOR AND FRAME INFORMATION

NEW WORK KEYNOTES

SEE SHEET A191 FOR NEW WORK KEYNOTES



KEYPLAN - AREA 'C'
D193 AND A193

NOVUS
always new

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

NORTH CAROLINA
REGISTERED ARCHITECTURE COMPANY
52930
NOVUS BEWASHEVILLE, NC

NORTH CAROLINA
REGISTERED ARCHITECT
12207
EMILY J. KITE
10.4.21

**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ENLARGED ROOF PLAN - AREA 'C'

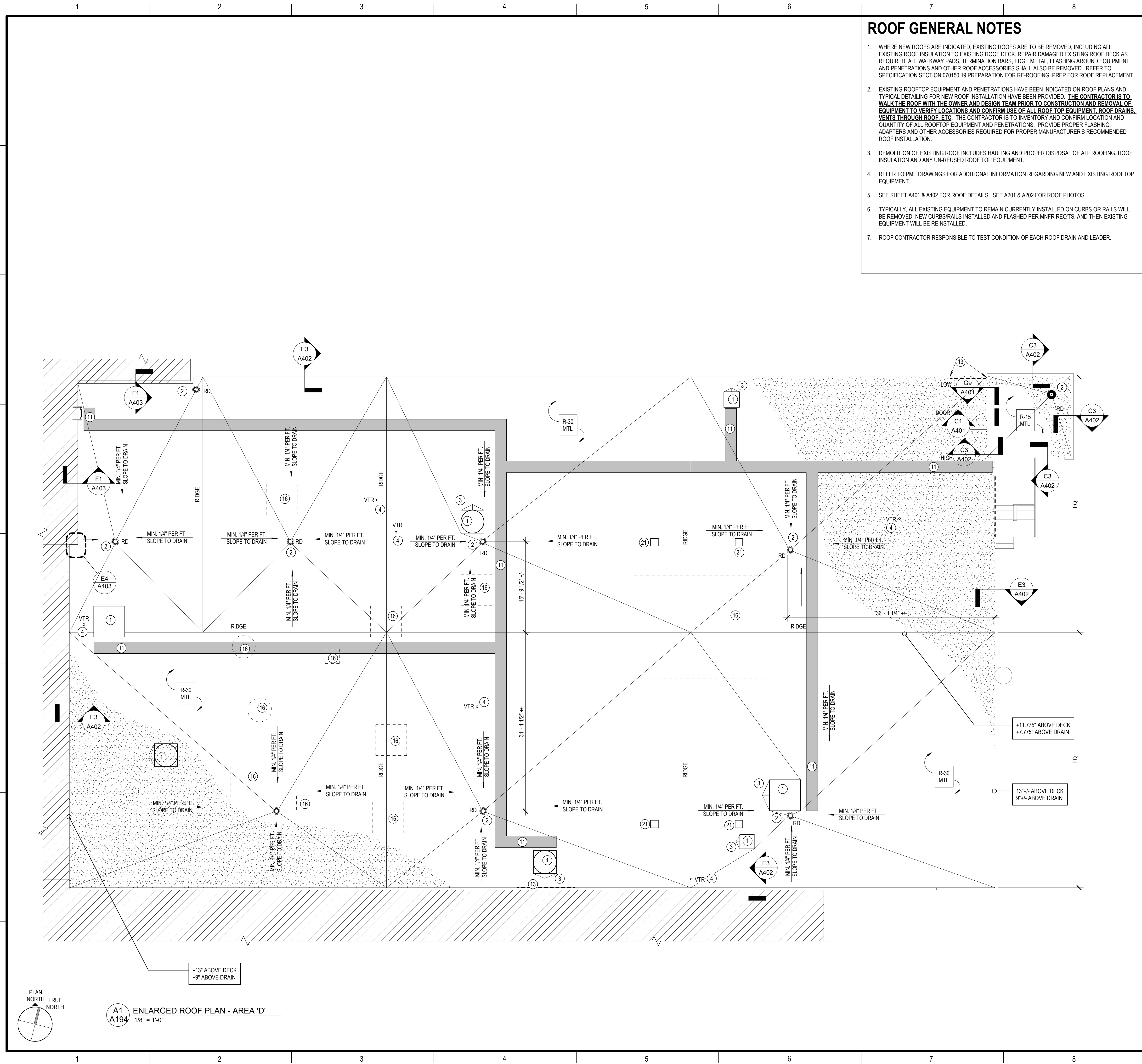
REVISIONS:

No.	Description	Date

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07
SHEET NUMBER
A193

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



ROOF GENERAL NOTES

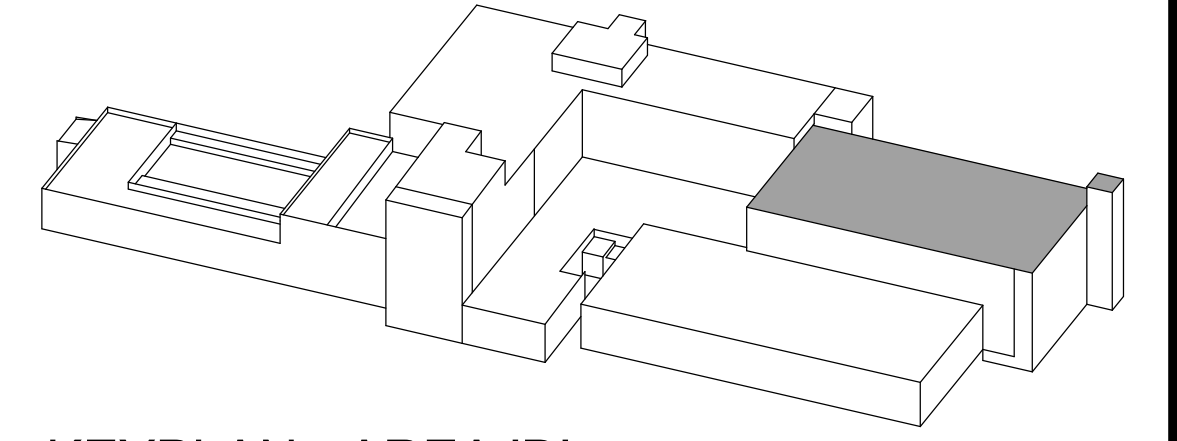
- WHERE NEW ROOFS ARE INDICATED, EXISTING ROOFS ARE TO BE REMOVED, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. ALL WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 07150.19 PREPARATION FOR RE-ROOFING, PREP FOR ROOF REPLACEMENT.
- EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF PLANS AND TYPICAL DETAILING FOR NEW ROOF INSTALLATION HAVE BEEN PROVIDED. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT AND PENETRATIONS. PROVIDE PROPER FLASHING, ADAPTERS AND OTHER ACCESSORIES REQUIRED FOR PROPER MANUFACTURER'S RECOMMENDED ROOF INSTALLATION.
- DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
- REFER TO PME DRAWINGS FOR ADDITIONAL INFORMATION REGARDING NEW AND EXISTING ROOFTOP EQUIPMENT.
- SEE SHEET A401 & A402 FOR ROOF DETAILS. SEE A201 & A202 FOR ROOF PHOTOS.
- TYPICALLY, ALL EXISTING EQUIPMENT TO REMAIN CURRENTLY INSTALLED ON CURBS OR RAILS WILL BE REMOVED, NEW CURBS/RAILS INSTALLED AND FLASHED PER MNFR REQTS, AND THEN EXISTING EQUIPMENT WILL BE REINSTALLED.
- ROOF CONTRACTOR RESPONSIBLE TO TEST CONDITION OF EACH ROOF DRAIN AND LEADER.

NEW WORK KEYNOTES

- REINSTALL EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED POWER AND PIPING THAT WAS REMOVED AND STORED ON SITE. VERIFY EXACT LOCATION IN FIELD. - COORDINATE E ADAPTER AS REQUIRED TO BE COMPATIBLE WITH EXISTING EQUIPMENT AND MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAILS ON SHEET C9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- INSTALL RETROFIT ROOF DRAINS IN EXISTING ROOF DRAIN LOCATIONS (VERIFY EXACT LOCATION IN FIELD). NEW ROOF DRAIN TO TIE INTO EXISTING ROOF DRAIN LEADER. SEE DETAIL E8/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- PROVIDE MEMBRANE FLASHING AND CRICKET DETAILED PER ROOF MNFR. RECOMMENDATIONS AT ALL UP-SLOPE SIDES OF EQUIPMENT CURBS, TYP.
- EXISTING VENT THROUGH ROOF TO REMAIN. VERIFY EXACT LOCATIONS IN FIELD. - COORDINATE ADAPTER AS REQUIRED TO BE COMPATIBLE WITH MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAIL E9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- NEW CURB FOR EXISTING EXHAUST FAN IN SAME LOCATION.
- COVER EXISTING THROUGH WALL SCUPPER WITH NEW ROOF INSULATION.
- NEW THROUGH WALL SCUPPER. SEE DETAIL A1/A403
- CLEAN, HALT RUST AND PAINT EXISTING ROOF LADDERS/STAIR TO REMAIN. RAISE/ALTER LADDER CONNECTION TO WALL IF REQ'D TO ACCOMMODATE NEW TAPERED INSULATION AND SIDEWALL FLASHING. RAISE, RATHER THAN FLASH OVER EXISTING CONNECTIONS.
- NEW GALV. STEEL LADDER. SEE DETAIL E6/A402
- NEW ROOF EDGE WHERE EXISTING PARAPET WAS DEMOLISHED. SEE DETAIL A4/A401.
- PROVIDE WALK PADS.
- EXISTING CATWALK AND PORTION OF PIPE HANDRAIL TO REMAIN.
- NEW GUARD RAIL. PROVIDE "PORTABLE" (NON-PENETRATING) TYPE BASES AND OSHA COMPLIANT GUARDRAIL AT NOTED LOCATIONS.
- NEW STANDING SEAM METAL ROOF SYSTEM TO MATCH EXISTING, ON EXISTING ROOF STRUCTURE. PROVIDE NEW GUTTER AND DOWNSPOUTS. WORK OF ALTERNATE 3
- EXISTING CHIMNEY TO REMAIN. MAINTAIN EXISTING CABLE CONNECTION POINTS. NOTIFY ARCHITECT IF NEW CONNECTION POINTS ARE REQUIRED.
- PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED BY REMOVAL OF EXISTING ROOF TOP EQUIPMENT AND EQUIPMENT PLATFORMS.
- ROOFING SYSTEM EXTENDS UNDER EXISTING RAISED DUCT. SEE PME DRAWINGS FOR MORE INFO. DUCT TO BE RAISED HIGHER
- EXISTING DUCT TO BE REINSTALLED ON STANDS. SEE PME.
- FLASH TO EXISTING PLATFORM SUPPORT LEGS. SEE DETAIL E9/A401, SIMILAR.
- EXISTING ROOF TOP EQUIPMENT TO REMAIN IN PLACE. FLASH AS REQUIRED AROUND EQUIPMENT. FLASH OVER EXISTING DEMOLISHED SCREEN WALL AND MECHANICAL PLATFORM SUPPORT PADS. SEE DETAIL G6/A402
- NEW GALV. STEEL STEPS. MATCH EXISTING STEPS TO REMAIN. SEE DETAIL A9/A402
- NEW THROUGH WALL SCUPPER. SEE DETAIL C1/A403
- REPLACE EXISTING ROOF DECK. BUILD UP INSULATION TO MATCH ADJACENT ROOF HEIGHT AND ACCOMMODATE NEW SLOPE. SEE PHOTOS ON A203. COORDINATE FINAL INSTALLATION WITH EXISTING CHILLER PIPING.
- GRIND EXISTING STEEL DAMS OFF.
- TOOTH IN SALVAGED BRICK AT NEW MASONRY CORNER. PROVIDE CUT IN Z FLASHING PER C4/A402
- NEW GALV STEEL PIPE COLUMNS ATTACHED TO DECK. REUSE EXISTING HORIZONTAL DUCT STAND MEMBERS TO CREATE DUCT STAND AT NEW HEIGHT. SEE PME AND STRUCTURAL DRAWINGS.
- COORDINATE WALL FLASHING AT DUCT WITH PME DRAWINGS. NEW ROOF SLOPE CONFLICTS WITH EXISTING INSTALLATION.
- REINSTALL EMERGENCY ADDRESS SYSTEM. SEE ELECTRICAL DRAWINGS.

ROOF PLAN LEGEND

- EXISTING EQUIPMENT TO BE REMOVED. EXTEND EXISTING CURB MIN 8" ABOVE NEW ROOF ELEVATION, AS REQ'D. CAP IN PLACE. SEE MECHANICAL DRAWINGS AND DETAIL E4/A401
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM.
- GUTTER NEW 6" BOX GUTTER. SEE DETAIL EL A 402. DS-S = 3" X 4" DOWNSPOUT. DS-D REQUIRES PIPING TO DAYLIGHT. DS-S REQUIRES A SPLASHBLOCK.
- INTERNAL TAPERED INSULATION RIDGE
- WALK PADS
- MINIMUM ROOF INSULATION VALUE FOR ROOF. DECK = DECK TYPE
- NEW DOOR. SEE A190 FOR DOOR AND FRAME INFORMATION



KEYPLAN - AREA 'D'
D194 AND A194

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ENLARGED ROOF PLAN - AREA 'D'

No.	Description	Date

REVISIONS:

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
A194

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

ROOF GENERAL NOTES

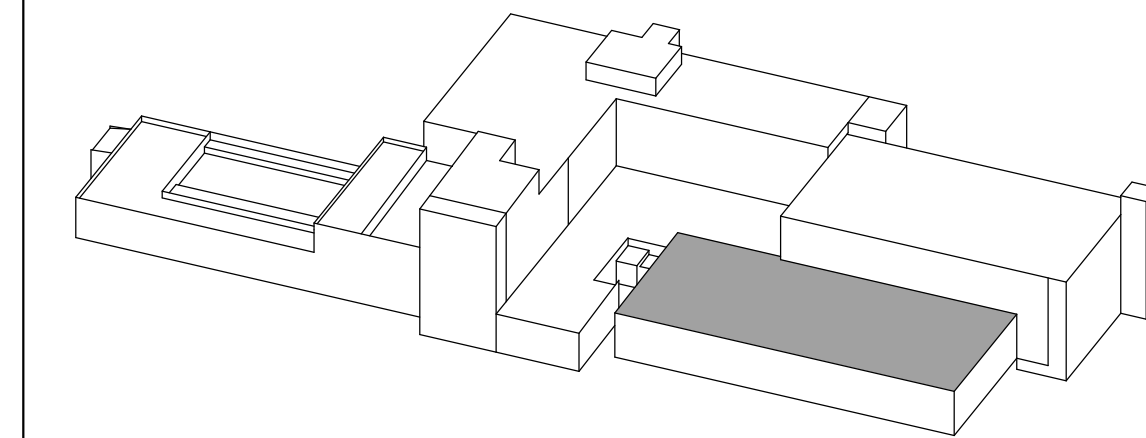
- WHERE NEW ROOFS ARE INDICATED, EXISTING ROOFS ARE TO BE REMOVED, INCLUDING ALL EXISTING ROOF INSULATION TO EXISTING ROOF DECK. REPAIR DAMAGED EXISTING ROOF DECK AS REQUIRED. ALL WALKWAY PADS, TERMINATION BARS, EDGE METAL, FLASHING AROUND EQUIPMENT AND PENETRATIONS AND OTHER ROOF ACCESSORIES SHALL ALSO BE REMOVED. REFER TO SPECIFICATION SECTION 07150.19 PREPARATION FOR RE-ROOFING, PREP FOR ROOF REPLACEMENT.
- EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS HAVE BEEN INDICATED ON ROOF PLANS AND TYPICAL DETAILING FOR NEW ROOF INSTALLATION HAVE BEEN PROVIDED. **THE CONTRACTOR IS TO WALK THE ROOF WITH THE OWNER AND DESIGN TEAM PRIOR TO CONSTRUCTION AND REMOVAL OF EQUIPMENT TO VERIFY LOCATIONS AND CONFIRM USE OF ALL ROOF TOP EQUIPMENT, ROOF DRAINS, VENTS THROUGH ROOF, ETC.** THE CONTRACTOR IS TO INVENTORY AND CONFIRM LOCATION AND QUANTITY OF ALL ROOFTOP EQUIPMENT AND PENETRATIONS. PROVIDE PROPER FLASHING, ADAPTERS AND OTHER ACCESSORIES REQUIRED FOR PROPER MANUFACTURER'S RECOMMENDED ROOF INSTALLATION.
- DEMOLITION OF EXISTING ROOF INCLUDES HAULING AND PROPER DISPOSAL OF ALL ROOFING, ROOF INSULATION AND ANY UN-REUSED ROOF TOP EQUIPMENT.
- REFER TO PME DRAWINGS FOR ADDITIONAL INFORMATION REGARDING NEW AND EXISTING ROOFTOP EQUIPMENT.
- SEE SHEET A401 & A402 FOR ROOF DETAILS. SEE A201 & A202 FOR ROOF PHOTOS.
- TYPICALLY, ALL EXISTING EQUIPMENT TO REMAIN CURRENTLY INSTALLED ON CURBS OR RAILS WILL BE REMOVED, NEW CURBS/RAILS INSTALLED AND FLASHED PER MNFR REQTS, AND THEN EXISTING EQUIPMENT WILL BE REINSTALLED.
- ROOF CONTRACTOR RESPONSIBLE TO TEST CONDITION OF EACH ROOF DRAIN AND LEADER.

NEW WORK KEYNOTES

- REINSTALL EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED POWER AND PIPING THAT WAS REMOVED AND STORED ON SITE. VERIFY EXACT LOCATION IN FIELD. - COORDINATE ADAPTER AS REQUIRED TO BE COMPATIBLE WITH EXISTING EQUIPMENT AND MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAILS ON SHEET C9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- INSTALL RETROFIT ROOF DRAINS IN EXISTING ROOF DRAIN LOCATIONS (VERIFY EXACT LOCATION IN FIELD). NEW ROOF DRAIN TO TIE INTO EXISTING ROOF DRAIN LEADER. SEE DETAIL E8/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- PROVIDE MEMBRANE FLASHING AND CRICKET DETAILED PER ROOF MNFR. RECOMMENDATIONS AT ALL UP-SLOPE SIDES OF EQUIPMENT CURBS, TYP.
- EXISTING VENT THROUGH ROOF TO REMAIN. VERIFY EXACT LOCATIONS IN FIELD. - COORDINATE ADAPTER AS REQUIRED TO BE COMPATIBLE WITH MANUFACTURER'S REQUIREMENTS FOR NEW ROOF INSTALLATION. SEE DETAIL E9/A401 FOR TYPICAL INSTALLATION CONDITIONS.
- NEW CURB FOR EXISTING EXHAUST FAN IN SAME LOCATION.
- COVER EXISTING THROUGH WALL SCUPPER WITH NEW ROOF INSULATION.
- NEW THROUGH WALL SCUPPER. SEE DETAIL A1/A403
- CLEAN, HALT RUST AND PAINT EXISTING ROOF LADDER/STAIR TO REMAIN. RAISE/ALTER LADDER CONNECTION TO WALL IF REQ'D TO ACCOMMODATE NEW TAPERED INSULATION AND SIDEWALL FLASHING. RAISE, RATHER THAN FLASH OVER EXISTING CONNECTIONS.
- NEW GALV. STEEL LADDER. SEE DETAIL E6/A402
- NEW ROOF EDGE WHERE EXISTING PARAPET WAS DEMOLISHED. SEE DETAIL A4/A401.
- PROVIDE WALK PADS.
- EXISTING CATWALK AND PORTION OF PIPE HANDRAIL TO REMAIN.
- NEW GUARD RAIL. PROVIDE "PORTABLE" (NON-PENETRATING) TYPE BASES AND OSHA COMPLIANT GUARDRAIL AT NOTED LOCATIONS
- NEW STANDING SEAM METAL ROOF SYSTEM TO MATCH EXISTING, ON EXISTING ROOF STRUCTURE. PROVIDE NEW GUTTER AND DOWNSPOUTS. WORK OF ALTERNATE 3
- EXISTING CHIMNEY TO REMAIN. MAINTAIN EXISTING CABLE CONNECTION POINTS. NOTIFY ARCHITECT IF NEW CONNECTION POINTS ARE REQUIRED.
- PATCH AND REPAIR EXISTING ROOF DECK AS REQUIRED BY REMOVAL OF EXISTING ROOF TOP EQUIPMENT AND EQUIPMENT PLATFORMS.
- ROOFING SYSTEM EXTENDS UNDER EXISTING RAISED DUCT. SEE PME DRAWINGS FOR MORE INFO. DUCT TO BE RAISED HIGHER
- EXISTING DUCT TO BE REINSTALLED ON STANDS. SEE PME.
- FLASH TO EXISTING PLATFORM SUPPORT LEGS. SEE DETAIL E9/A401, SIMILAR.
- EXISTING ROOF TOP EQUIPMENT TO REMAIN IN PLACE. FLASH AS REQUIRED AROUND EQUIPMENT.
- FLASH OVER EXISTING DEMOLISHED SCREEN WALL AND MECHANICAL PLATFORM SUPPORT PADS. SEE DETAIL G6/A402
- NEW GALV. STEEL STEPS. MATCH EXISTING STEPS TO REMAIN. SEE DETAIL A9/A402
- NEW THROUGH WALL SCUPPER. SEE DETAIL C1/A403
- REPLACE EXISTING ROOF DECK. BUILD UP INSULATION TO MATCH ADJACENT ROOF HEIGHT AND ACCOMMODATE NEW SLOPE. SEE PHOTOS ON A203. COORDINATE FINAL INSTALLATION WITH EXISTING CHILLER PIPING.
- GRIND EXISTING STEEL DAMS OFF.
- TOOTH IN SALVAGED BRICK AT NEW MASONRY CORNER. PROVIDE CUT IN Z FLASHING PER C4/A402
- NEW GALV STEEL PIPE COLUMNS ATTACHED TO DECK. REUSE EXISTING HORIZONTAL DUCT STAND MEMBERS TO CREATE DUCT STAND AT NEW HEIGHT. SEE PME AND STRUCTURAL DRAWINGS.
- COORDINATE WALL FLASHING AT DUCT WITH PME DRAWINGS. NEW ROOF SLOPE CONFLICTS WITH EXISTING INSTALLATION.
- REINSTALL EMERGENCY ADDRESS SYSTEM. SEE ELECTRICAL DRAWINGS.

ROOF PLAN LEGEND

- EXISTING EQUIPMENT TO BE REMOVED. EXTEND EXISTING CURB MIN 8" ABOVE NEW ROOF ELEVATION, AS REQ'D. CAP IN PLACE. SEE MECHANICAL DRAWINGS AND DETAIL E4/A401
- EXISTING EQUIPMENT AND EQUIPMENT CURB TO BE REMOVED. REPAIR PENETRATION IN ROOF AS REQ'D TO BE COVERED BY NEW ROOFING SYSTEM.
- NEW 6" BOX GUTTER. SEE DETAIL EL A 402. DS = 3" X 4" DOWNSPOUT. DS-D REQUIRES PIPING TO DAYLIGHT. DS-S REQUIRES A SPLASHBOCK.
- INTERNAL TAPERED INSULATION RIDGE
- WALK PADS
- MINIMUM ROOF INSULATION VALUE FOR ROOF. DECK = DECK TYPE
- NEW DOOR. SEE A190 FOR DOOR AND FRAME INFORMATION



KEYPLAN - AREA 'E'
D195 AND A195

NOVUS
always new

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

NORTH CAROLINA
REGISTERED ARCHITECTURE COMPANY
52930
NOVUS BEWASHEVILLE, NC

NORTH CAROLINA
REGISTERED ARCHITECT
12207
EMILY J. KITE
ARCHITECT
10.4.21

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

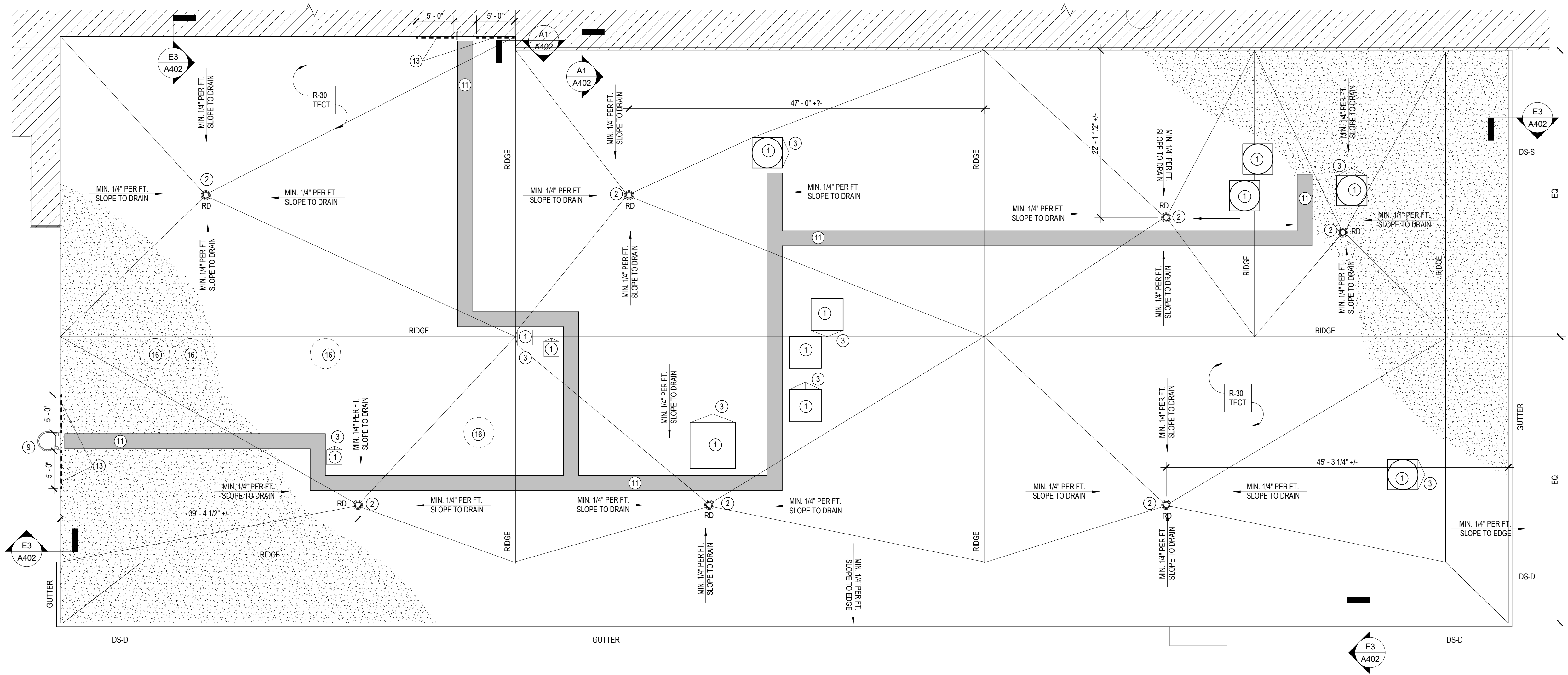
ENLARGED ROOF PLAN - AREA 'E'

REVISIONS:

No.	Description	Date

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
A195

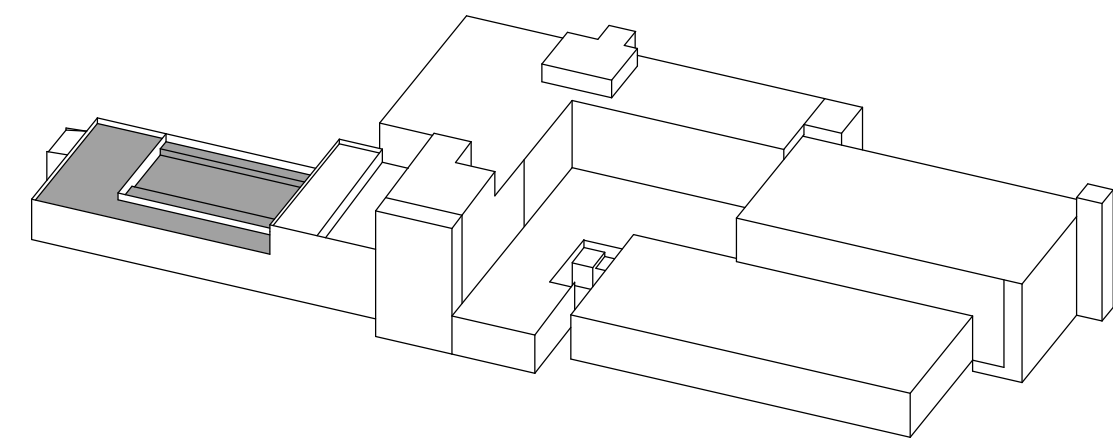


PLAN
NORTH
TRUE
NORTH

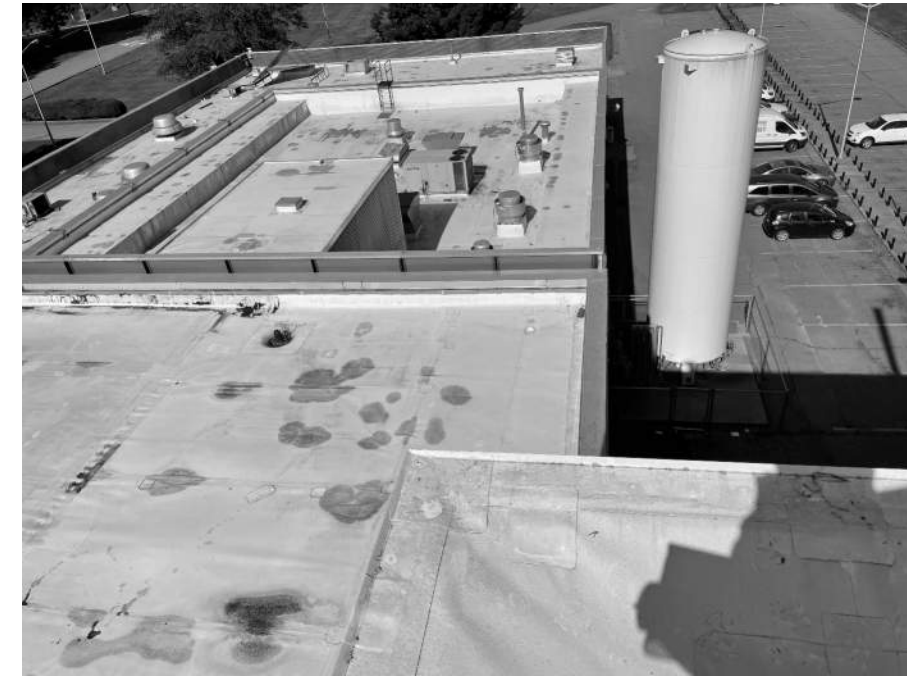
A1 ENLARGED ROOF PLAN - AREA 'E'
A195 1/8" = 1'-0"

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



KEYPLAN - AREA 'A'
D191 AND A191



A1 OVERALL FROM AREA C



A2 DUCT TO BE REMOVED. EXHAUST THAT NEEDS NEW CURB. SEE DEMO KEYNOTE 6 AND NEW WORK KEYNOTE 5



A.3 GENERAL VIEW - SEE PME AND ARCH FOR EQUIPMENT TO REMAIN. METAL CLAD PENTHOUSE BEYOND TO BE REMOVED AND DECK FILLED IN. SEE STRUCTURAL AND PME. NEW WORK KEYNOTE 7.



A.4 PARAPET TO BE REMOVED. COORDINATE EQUIPMENT TO BE REMOVED WITH PME DRAWINGS.



A.5 PARAPET TO BE REMOVED



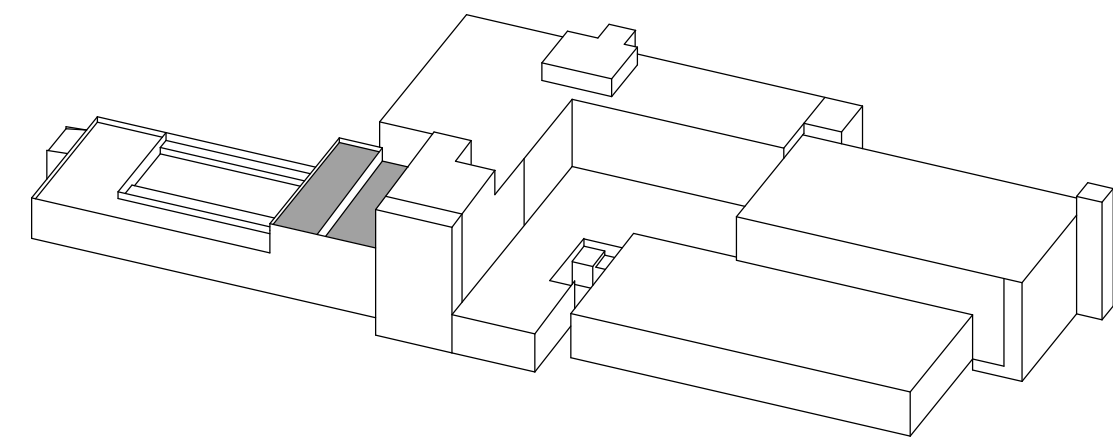
A.6 PARAPET TO BE REMOVED



A.7 PIPING TO BE REMOVED. SEE PME DRAWINGS. NEW PARAPET CAP FLASHING AND END WALL FLASHING. SEE A4/A403



A.8 EXISTING DOOR. SEE C1/A401



KEYPLAN - AREA 'B' - WEST
D192 AND A192



B.1 AREA TO BE SLOPED TOWARD MAIN DRAINAGE AREA. DRAIN TO BE ABANDONED.



B.2 OVERALL FROM AREA C ABOVE



B.3 COORDINATE EQUIPMENT TO BE REMOVED. SEE PME AND ARCHITECTURAL DRAWINGS.



B.4 METAL PARAPET CONDITION. SEE C1/A402



B.5 PIPING TO BE REMOVED. COORDINATE NEW FLASHING DETAILS. SUPPORTING STEEL TO REMAIN TO BE ENCOMPASSED IN TAPERED INSULATION



B.6 EXISTING PIPING STAND TO REMAIN. SEE FLASHING DETAIL.



B.7 COORDINATE PIPING TO BE REMOVED AND FLASHING DETAILS



B.8 REMOVE EXISTING DAMS. PROVIDE NEW FLASHING PER DETAIL C4/A403



B.9 EXISTING STAIR TO REMAIN. PREPARE FOR NEW PAINT.



B.10 PIPING AND STAND TO BE REMOVED.



B.11 STAIR TO BE REMOVED AND REPLACED. SEE NEW STAIR DETAIL A9/A402.



B.12 COORDINATE CHIMNEY TO REMAIN - CONFIRM NEW STAY CONNECTION POINTS. SEE NEW WORK KEYNOTE 15.



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

EXISTING CONDITION PHOTOS - AREAS A & B

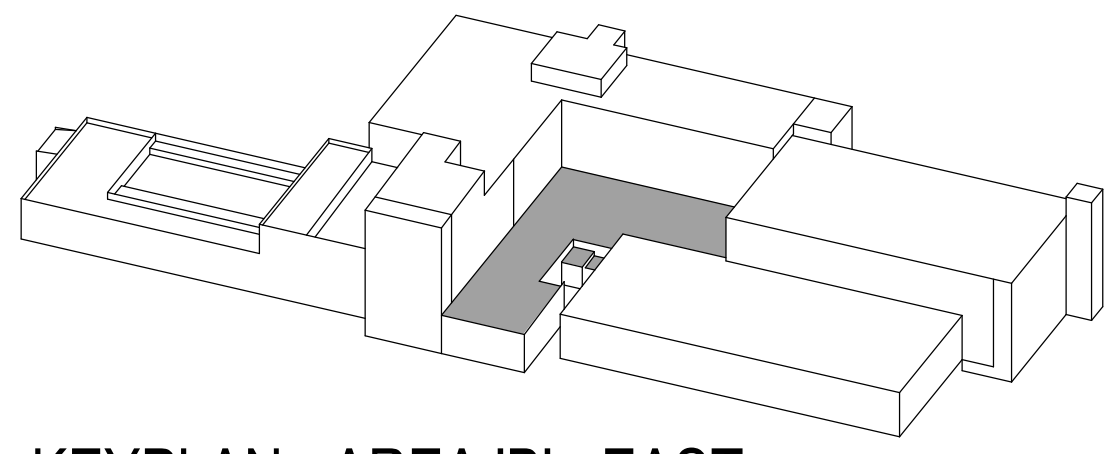
REVISIONS:	No.	Description	Date

DRAWN BY: JRC
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

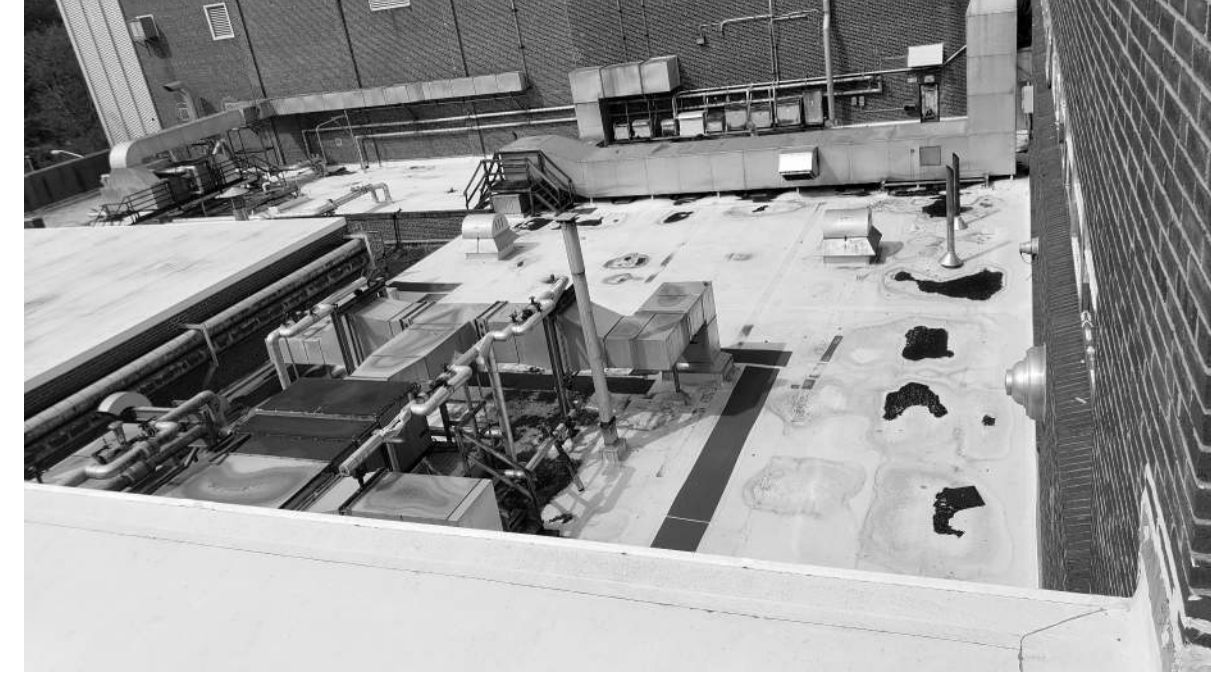
SHEET NUMBER
A201

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



KEYPLAN - AREA 'B' - EAST
D192 AND A192



B.13 OVERALL FROM AREA C



B.14 EXISTING JUNCTION AT INSULATED METAL PANEL. SIMILAR TO DETAIL C1/A402.



B.15 OVERALL OF SOUTHERN EQUIPMENT AREA. EQUIPMENT TO BE REMOVED. EACH PARAPET CAP CONDITION IN PHOTO IS UNIQUE. SEE DETAILS.



B.16 EXISTING STAIR TO BE DEMOLISHED. EXISTING DUCT ON ROOF TO HAVE NEW CURB. EXISTING DUCTING TO BE RAISED. SEE PME DRAWINGS.



B.17 DUCTING ON RIGHT SIDE OF PHOTO TO BE RAISED ON NEW STANDS. SEE PME NOTES ON MAKING TRANSFORMERS (ON RIGHT) SAFE FOR WORK.



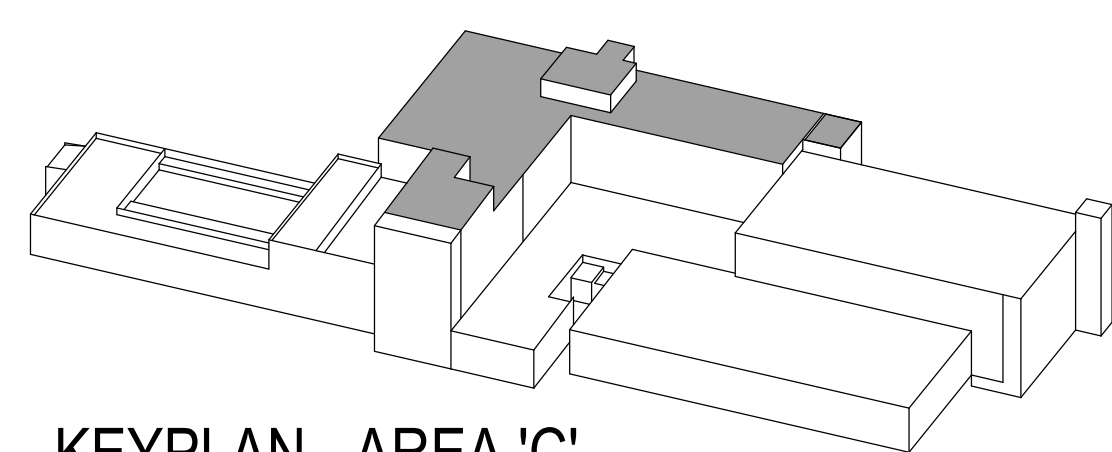
B.18 OVERALL FROM AREA E.



B.19 EXISTING DUCT TO BE REMOVED, ROOF MEMBRANE TO EXTEND UNDER, AND DUCTING REINSTALLED ON STANDS. SEE PME DRAWINGS.



B.20 EXISTING DOOR AND FRAME TO BE REMOVED. REPLACE WITH NEW HM DOOR AND FRAME, MATCHING EXISTING HEAD HEIGHT, AND OVERALL WIDTH. SEE DOOR SCHEDULE ON A190.



KEYPLAN - AREA 'C'
D193 AND A193



C.1 EXISTING PENTHOUSE TO REMAIN - REROOF IT AS WELL. COORDINATE EQUIPMENT REMOVAL WITH PME.



C.2 EXISTING MAIN STAIR.



C.3 FLASHING AT EXISTING MAIN STAIR.



C.4 EXISTING PENTHOUSE. CONFIRM EQUIPMENT TO REMAIN WITH PME DRAWINGS.



C.5 EXISTING METAL PANEL PER DETAIL A1/A403. TRIM DOOR AS REQ'D FOR NEW DOOR CURB DETAIL A1/A403



C.6 TOP PENTHOUSE ROOF. PLAN SOUTH. NICE VIEW. NO WORK ON METAL RIBBED ROOF.



C.7 SEE DETAIL E1/A401 FOR SIDEWALL FLASHING.



C.8 EXISTING LOUDSPEAKER SYSTEM TO REMAIN. COORDINATE WITH OWNER FOR TEMPORARY REMOVAL AND STORAGE DURING RE-ROOFING.

NOVUS
always new
ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE
NOVUSARCHITECTS.COM

NORTH CAROLINA
REGISTERED ARCHITECTURAL COMPANY
52930
NORTH CAROLINA
NOVUS SEWASHEVILLE, LLC

NORTH CAROLINA
REGISTERED ARCHITECT
12207
EMILY J. KITE
ARCHITECT

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA
EXISTING CONDITION PHOTOS - AREAS B & C

REVISIONS:

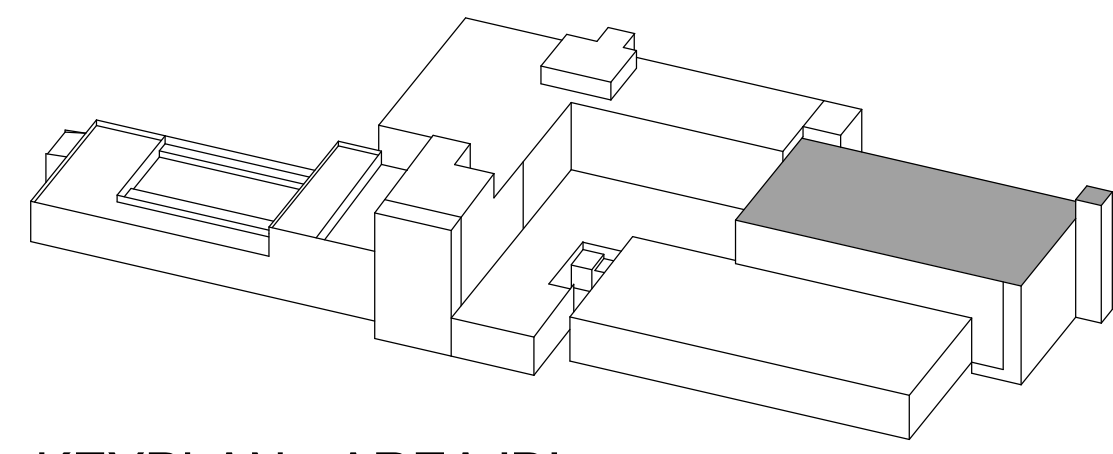
No.	Description	Date

DRAWN BY: JRC
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
A202

CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



KEYPLAN - AREA 'D'
D194 AND A194



D.1 OVERALL VIEW OF AREA D FROM PLAN EAST. COORDINATE EQUIPMENT TO BE REMOVED WITH PME DRAWINGS.



D.2 FLASHING TRANSITION AT PLAN WEST. SEE DETAIL E4/A403.



D.3 FLASHING TRANSITION AT PLAN WEST. SEE NEW DETAIL. PROVIDE NEW LADDER E6/A402



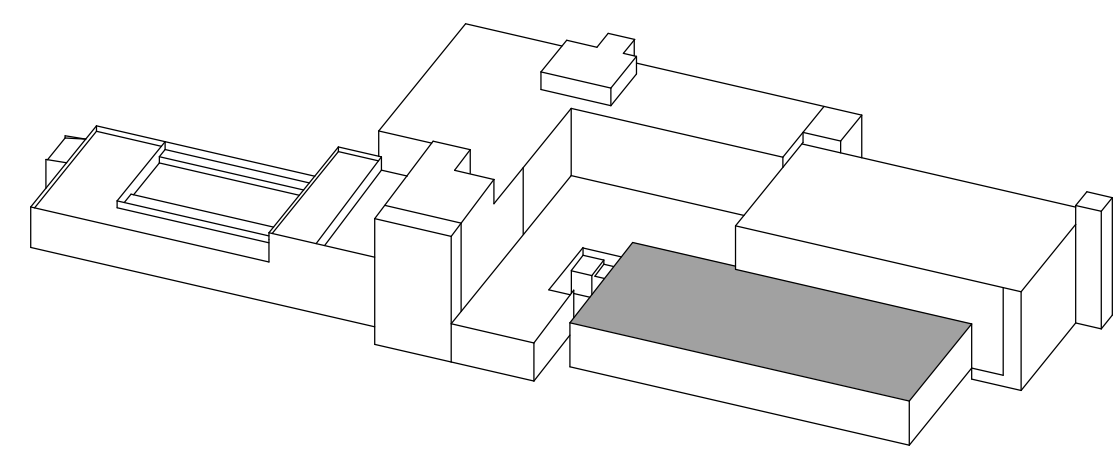
D.4 EXISTING GUARDRAILS TO REMAIN



D.5 OVERALL VIEW OF AREA D FROM PLAN EAST. COOLING TOWER AND SCREEN TO BE REMOVED. COORDINATE WITH PME DRAWINGS. EXISTING STEEL EQUIPMENT STANDS TO REMAIN. SEE G6/A402 FOR EQUIPMENT STAND DETAIL



D.6 VIEW TOWARDS PLAN SOUTH. SEE PME DRAWINGS FOR EQUIPMENT TO BE REMOVED



KEYPLAN - AREA 'E'
D195 AND A195



E.1 AREA E OVERALL FROM PLAN E. COORDINATE EQUIPMENT REMOVAL WITH PME DRAWINGS.



E.2 OVERALL FROM AREA C.



E.3 EXISTING FLASHING AT METAL PANEL. SEE NEW FLASHING DETAIL A1/A402.



E.4 EXISTING FLASHING AT CORNER. SEE NEW FLASHING DETAIL C1/A402 (SIMILAR). LADDER TO BE REPLACED. SEE E6/A402.



E.5 FROM PLAN WEST.



E.6 EXISTING LADDER. CLEAN, PREP FOR NEW PAINT.



E.7 EXISTING CATWALK FROM CLASSROOM. TERMINATE GUARDRAIL AFTER FIRST 90°. STAIRS TO BE DEMOLISHED. NEW ROOF (COMPLETE TEAR OFF) ON AWNING.



E.8 CATWALK BEYOND.



E.9 EXISTING AWNING ABOVE. PROVIDE NEW ROOF EDGE PER DETAIL A7/A403

NOVUS
always new

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

NORTH CAROLINA
REGISTERED ARCHITECTURAL COMPANY
52930
NOVUS SEWASHEVILLE, NC

NORTH CAROLINA
REGISTERED ARCHITECT
12207
EMILY J. KITE
10/1/21

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

EXISTING CONDITION PHOTOS - AREAS D & E

REVISIONS:

No.	Description	Date

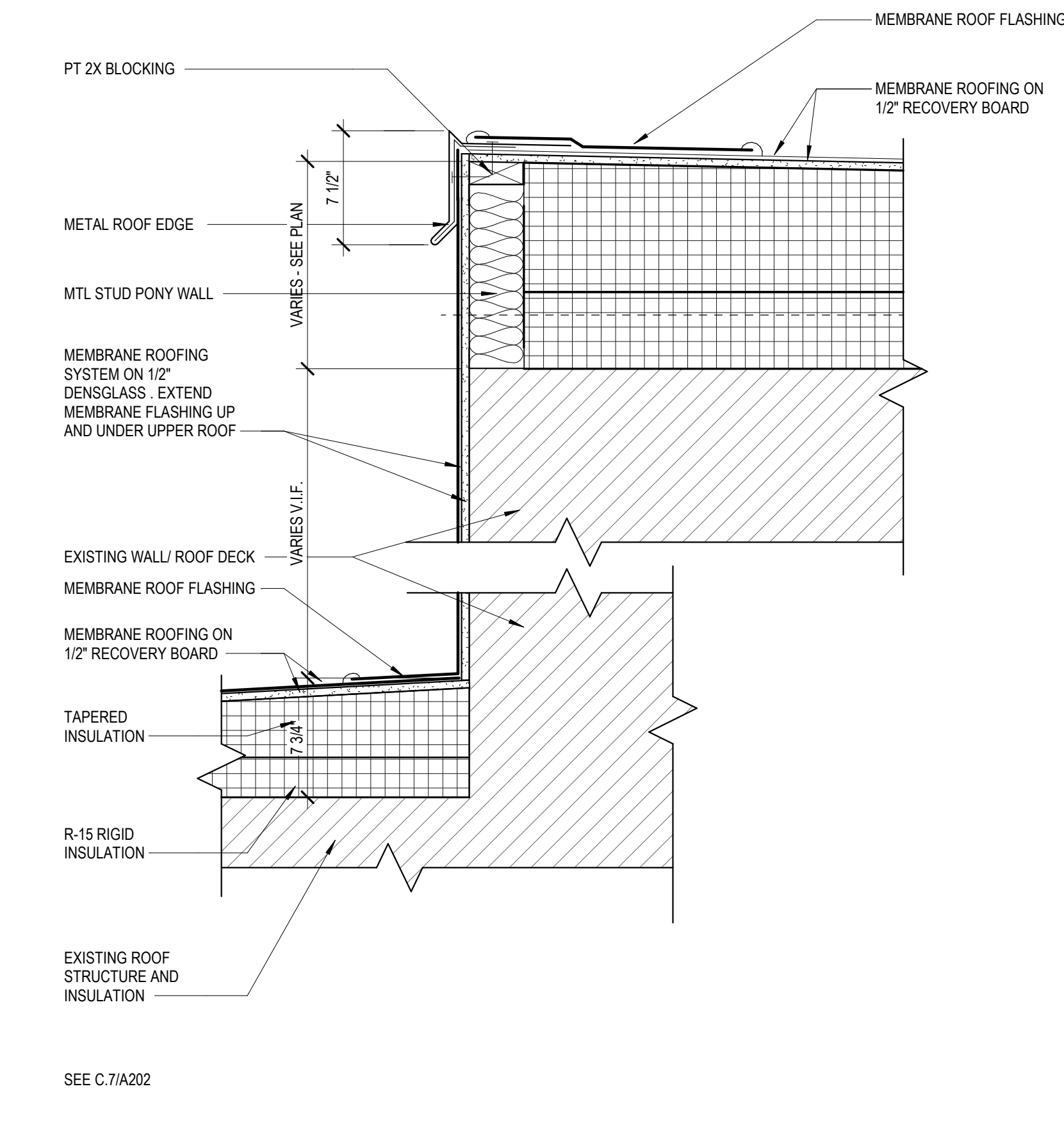
DRAWN BY: _____ Author
CHECKED BY: _____ Checker
DATE: OCTOBER 1, 2021

NOVUS JOB NUMBER
2015-3113.07

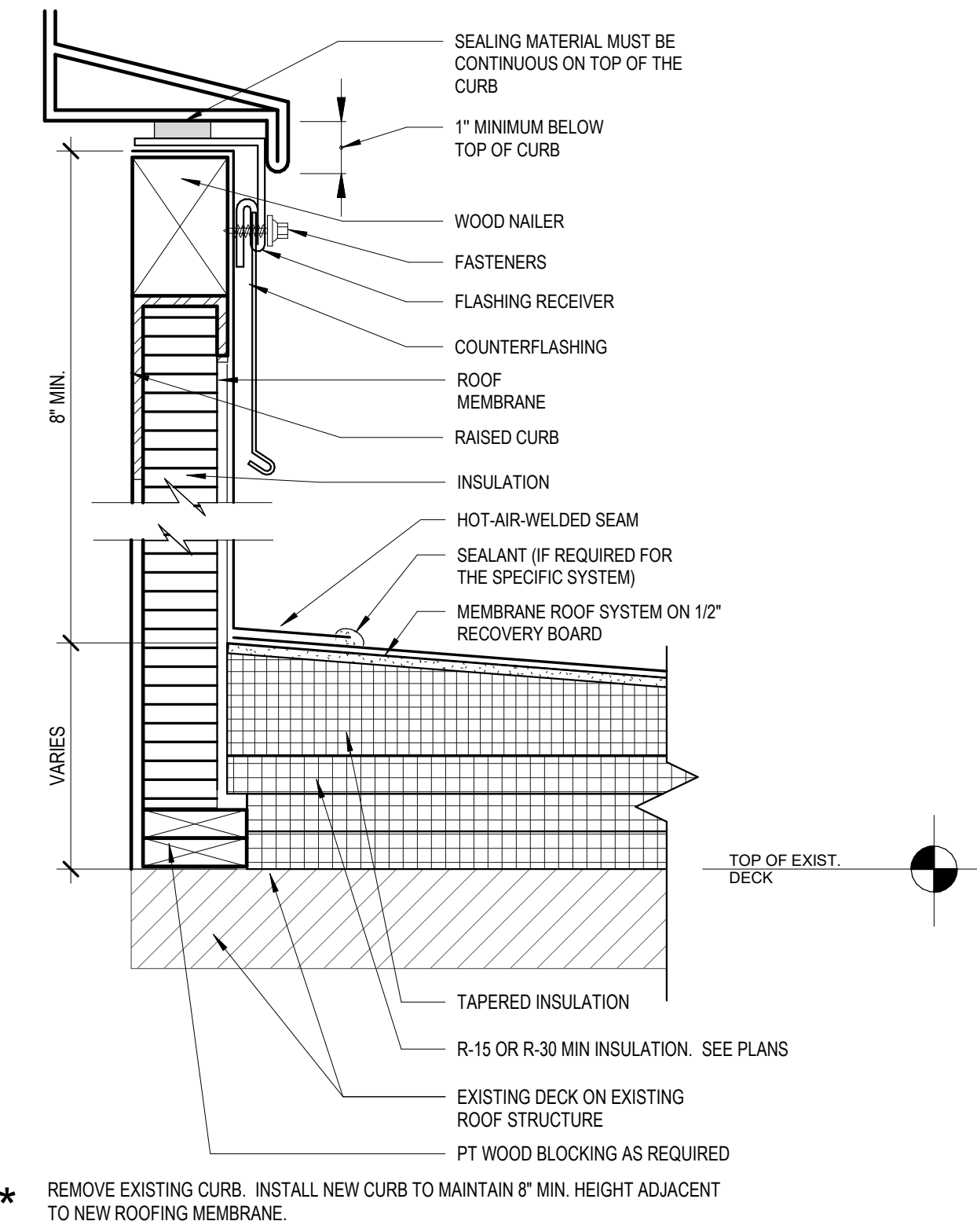
SHEET NUMBER
A203

CONTRACT DRAWINGS

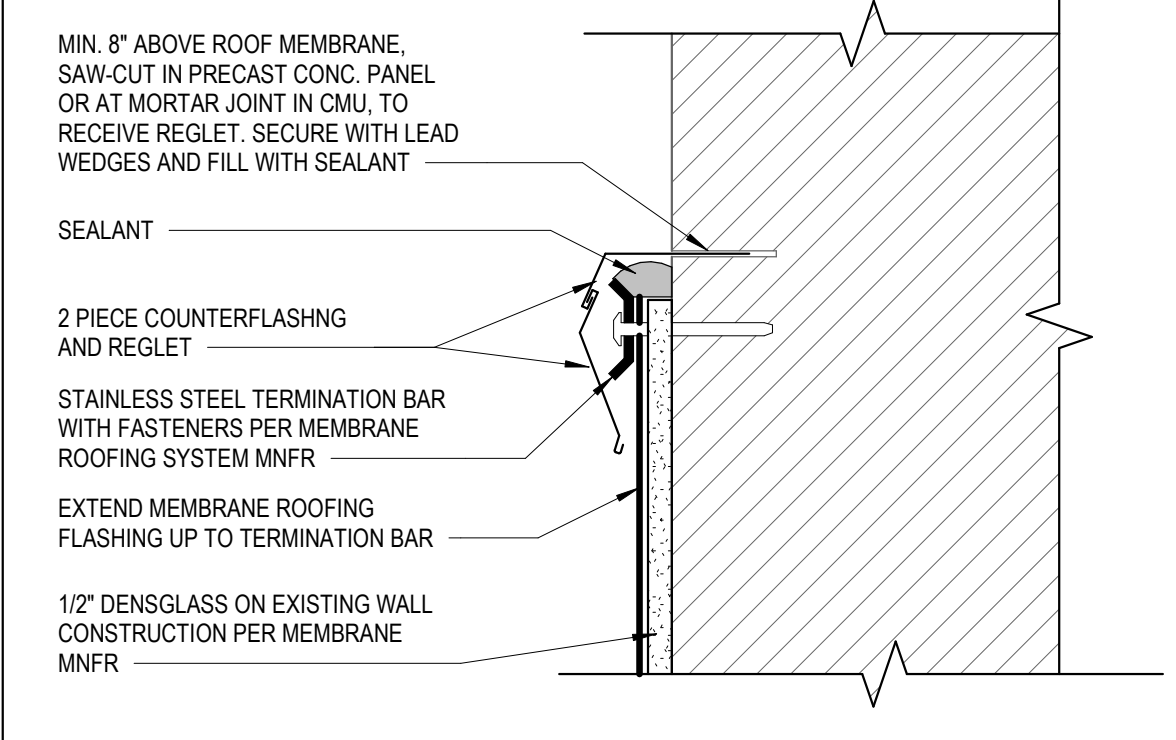
ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021. ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS.



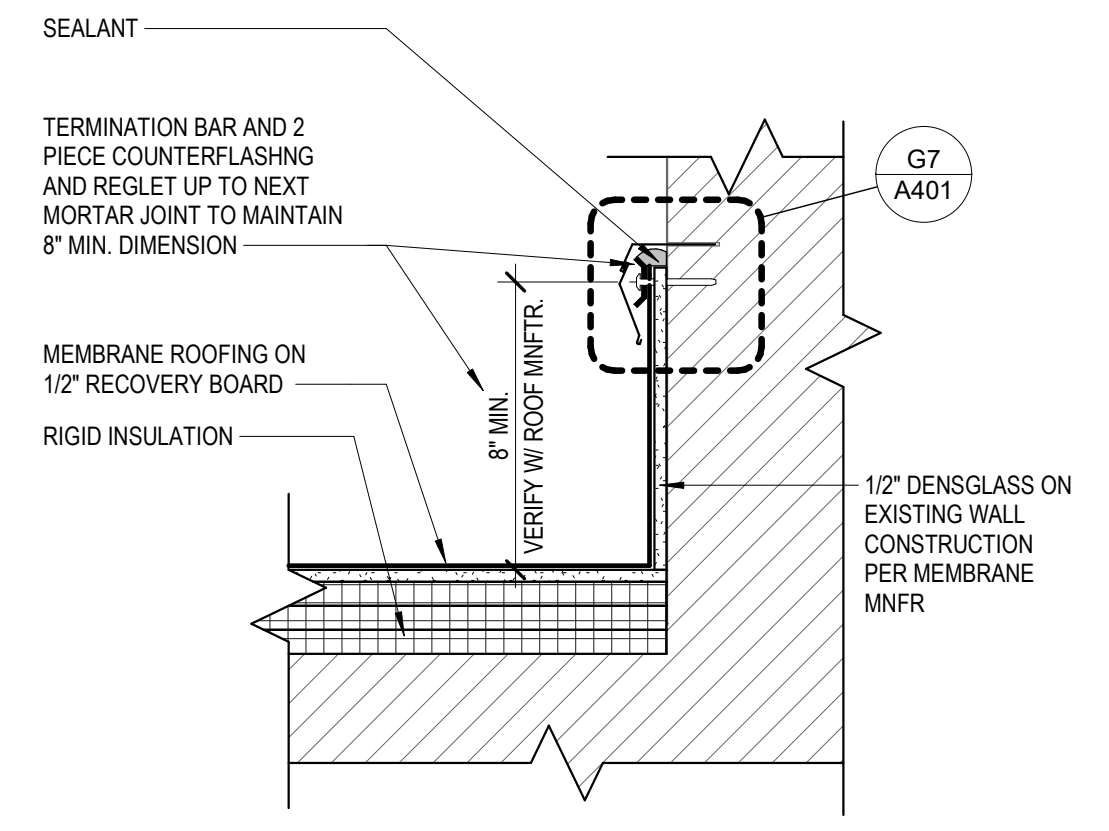
E1 SECTION WHERE ROOF STEPS
A401 1 1/2" = 1'-0"



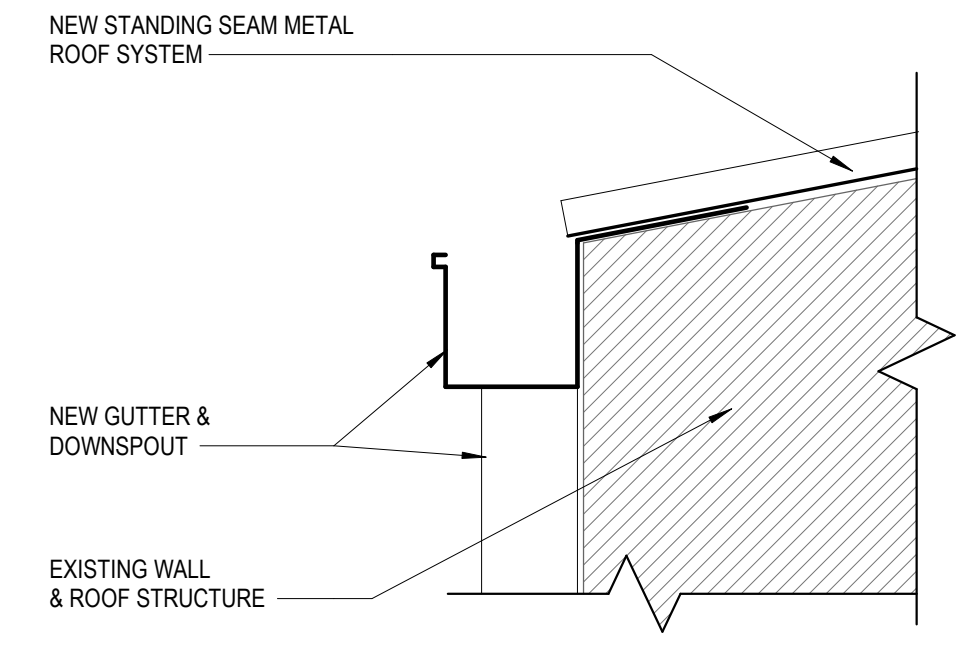
E4 TYPICAL EXISTING MECHANICAL CURB DETAIL
A401 1 1/2" = 1'-0"



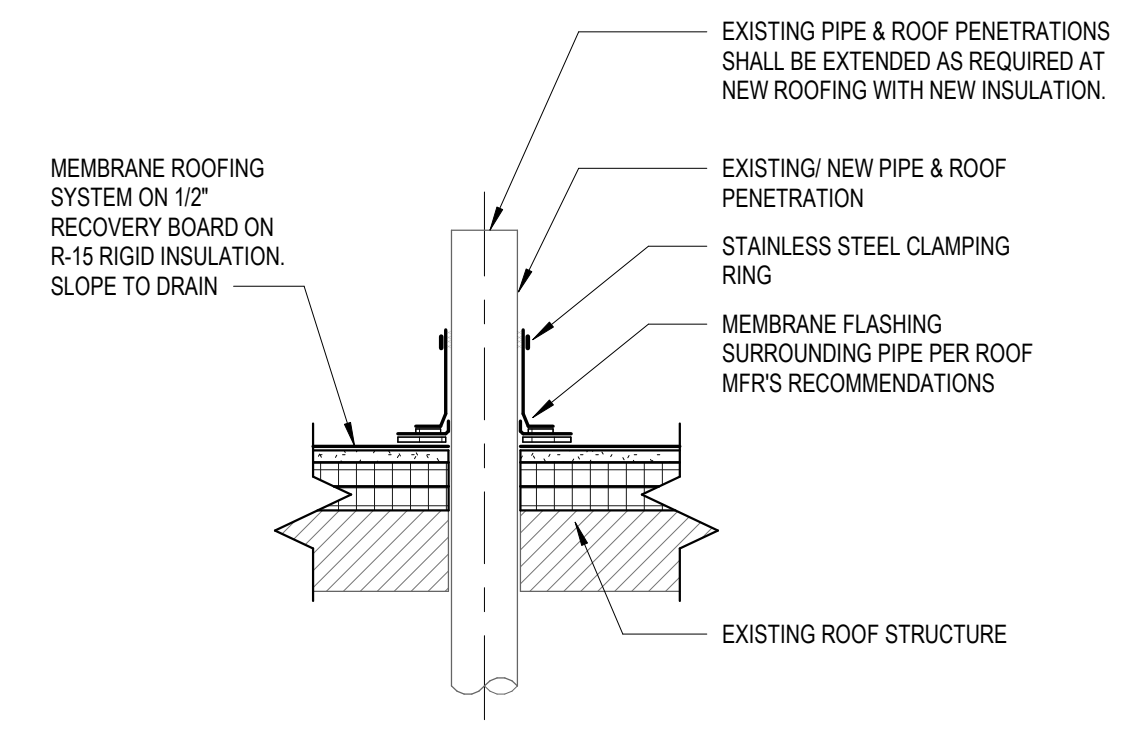
G7 TYPICAL TERMINATION BAR DETAIL
A401 3" = 1'-0"



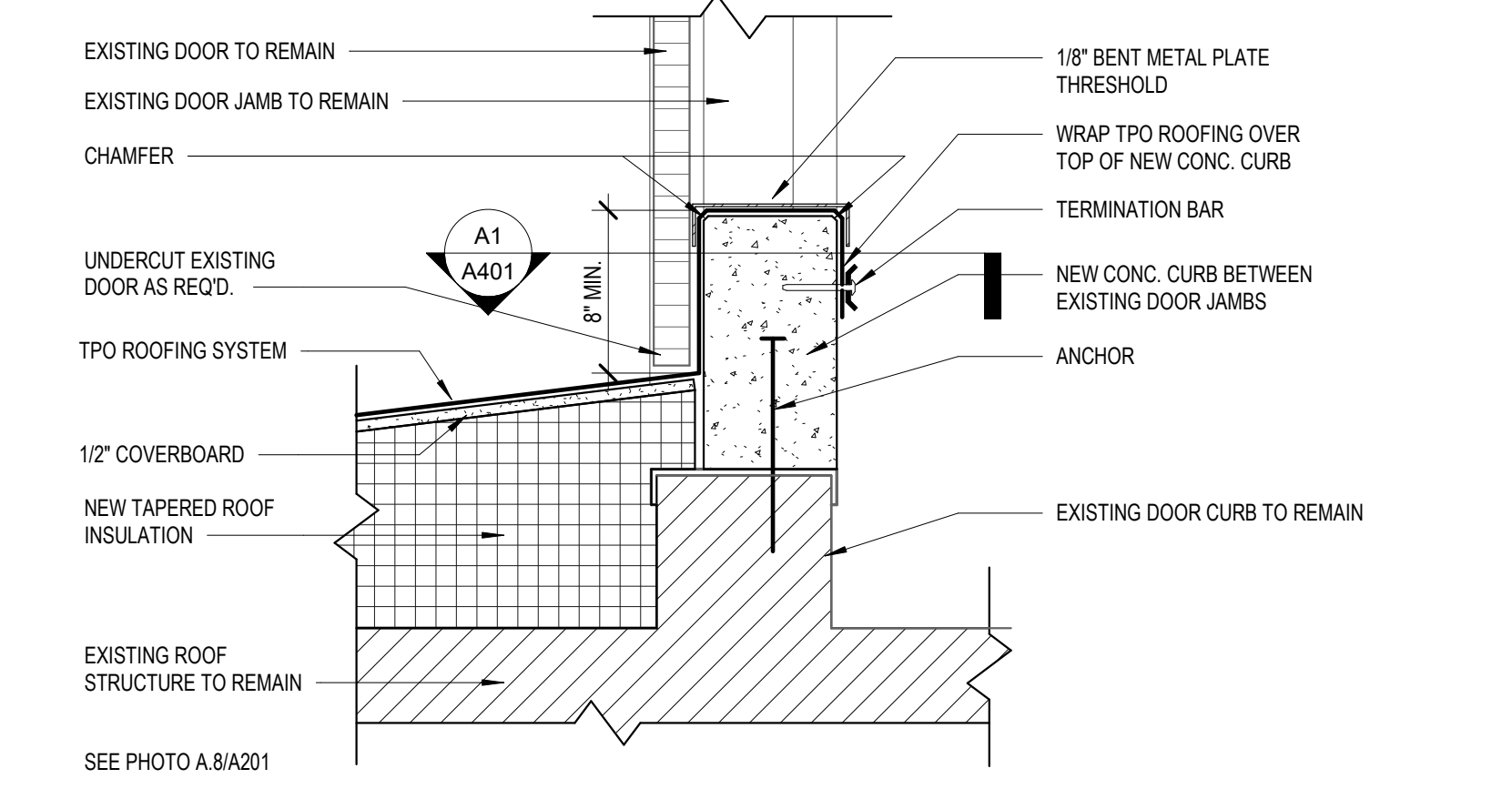
G9 TYPICAL TERMINATION BAR FLASHING
A401 1 1/2" = 1'-0"



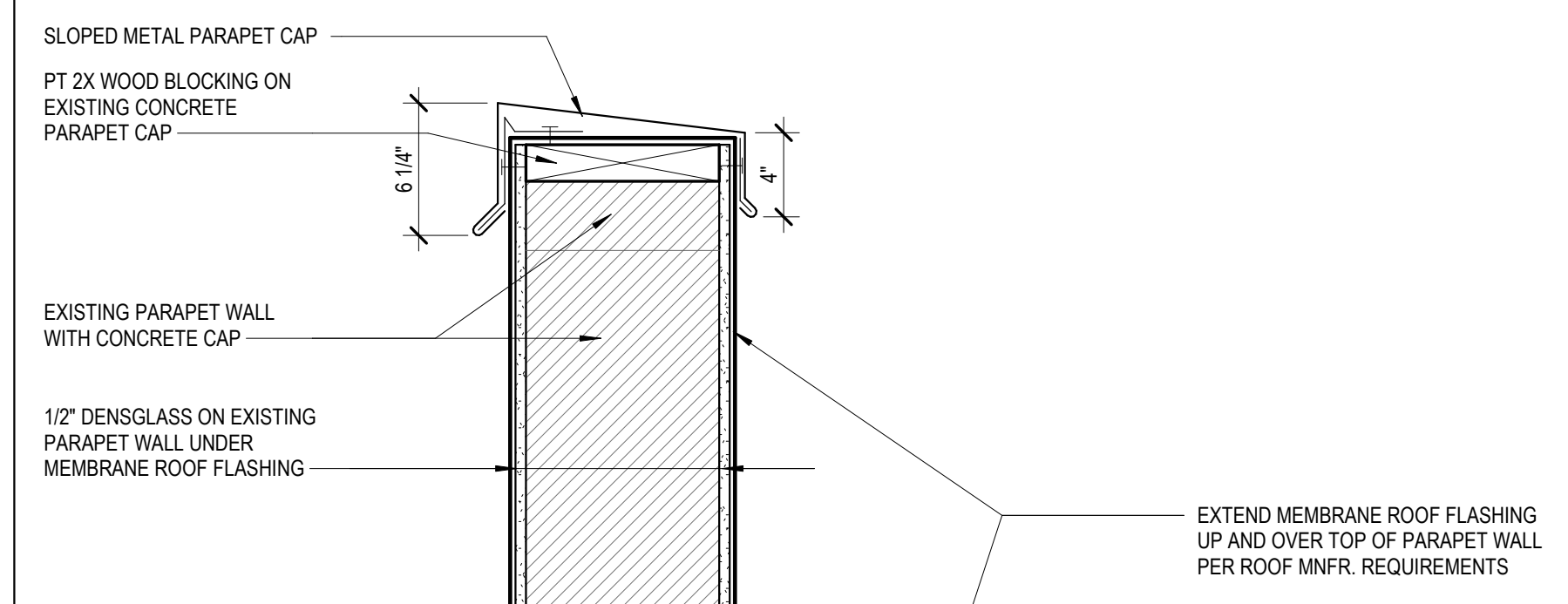
E7 DETAIL AT NEW GUTTER & STANDING SEAM METAL ROOF
A401 1 1/2" = 1'-0"



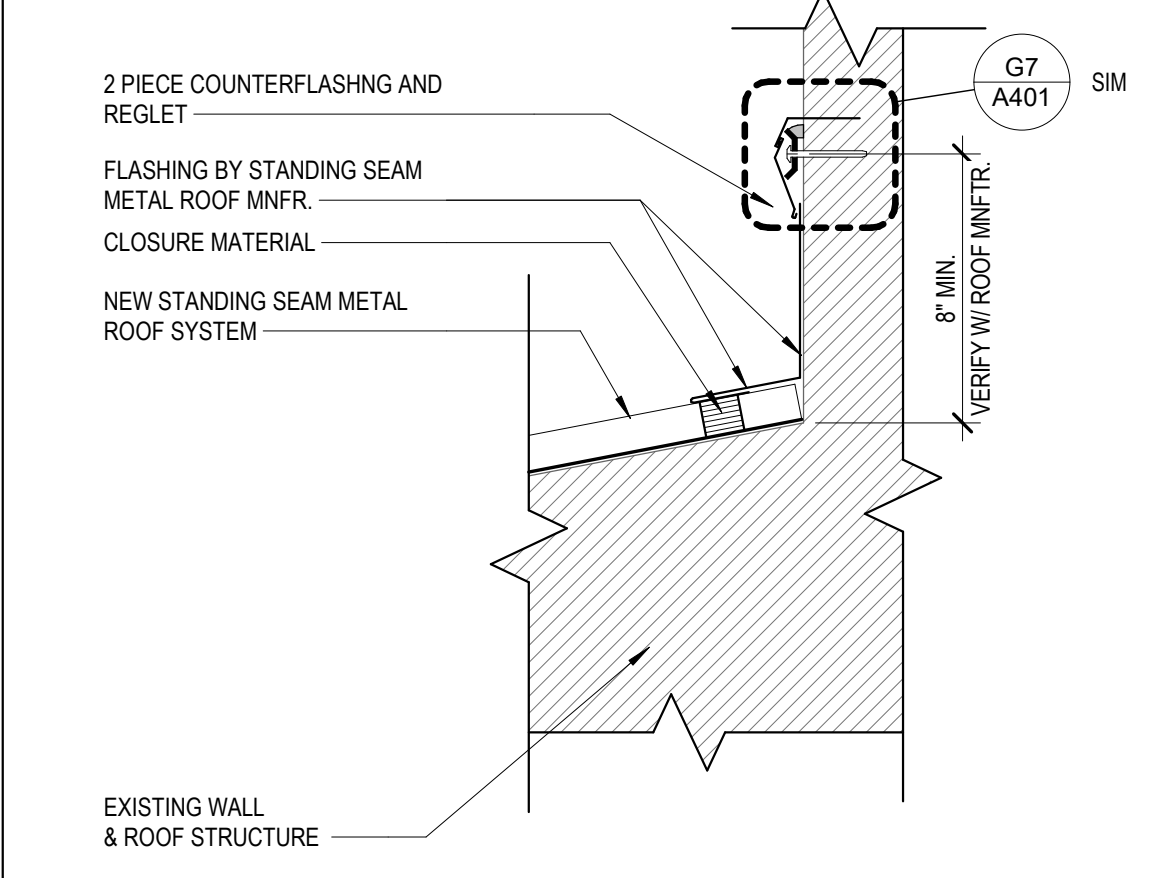
E9 TYPICAL PIPE PENETRATION DETAIL
A401 1 1/2" = 1'-0"



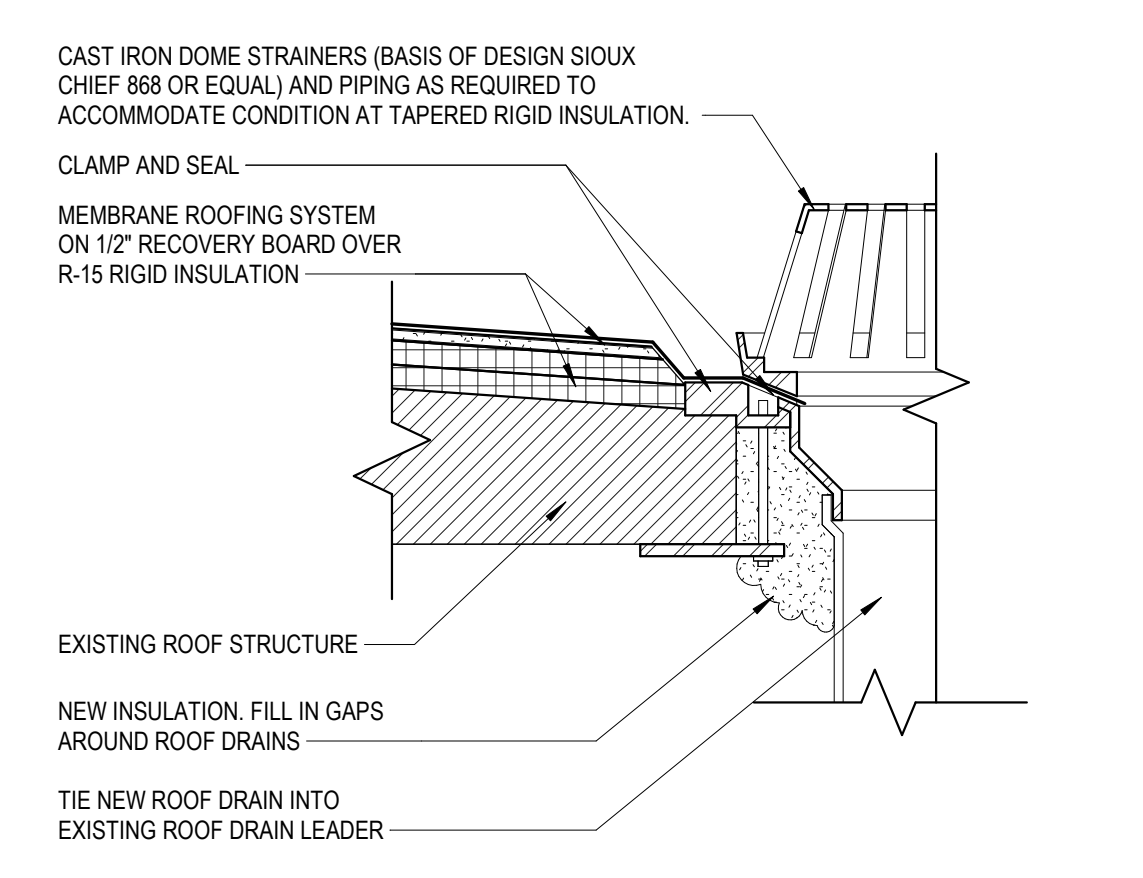
C1 FLASHING SECTION DETAIL AT DOOR SILL
A401 1 1/2" = 1'-0"



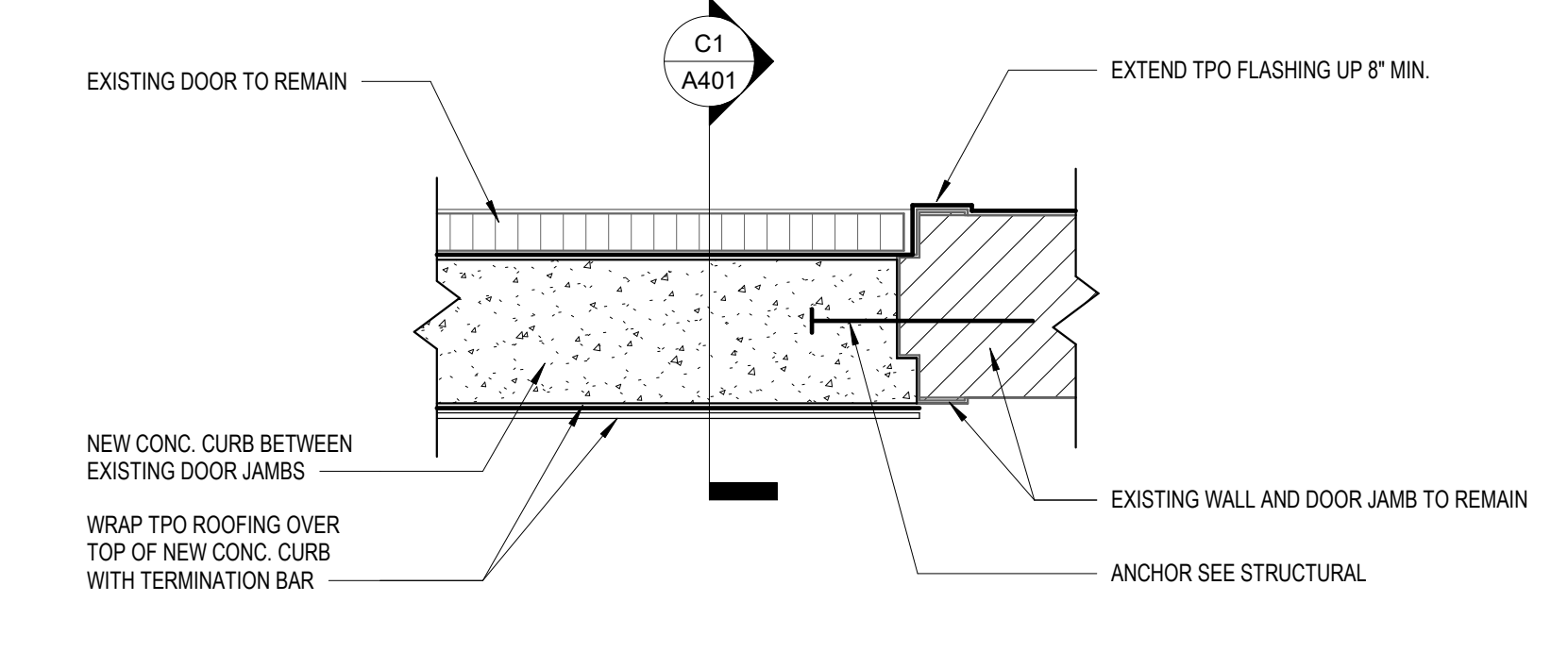
A4 INTERMEDIATE ROOF PARAPET DETAIL
A401 1 1/2" = 1'-0"



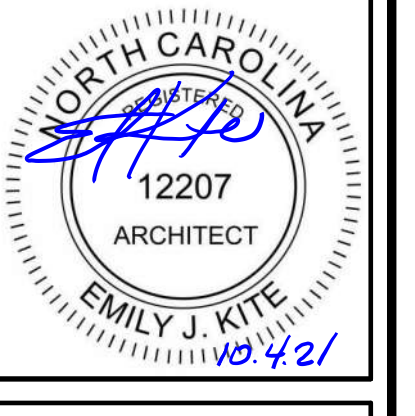
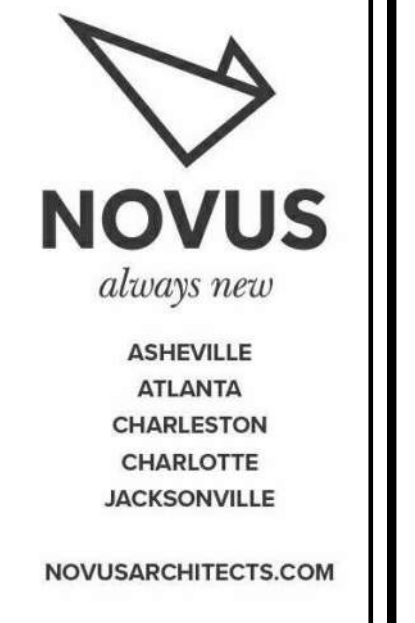
C7 FLASHING DETAIL AT STANDING SEAM METAL ROOF
A401 1 1/2" = 1'-0"



C9 TYPICAL ROOF DRAIN DETAIL
A401 1 1/2" = 1'-0"



A1 FLASHING PLAN DETAIL AT DOOR SILL
A401 1 1/2" = 1'-0"



TCC BUILDING ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ROOF DETAILS

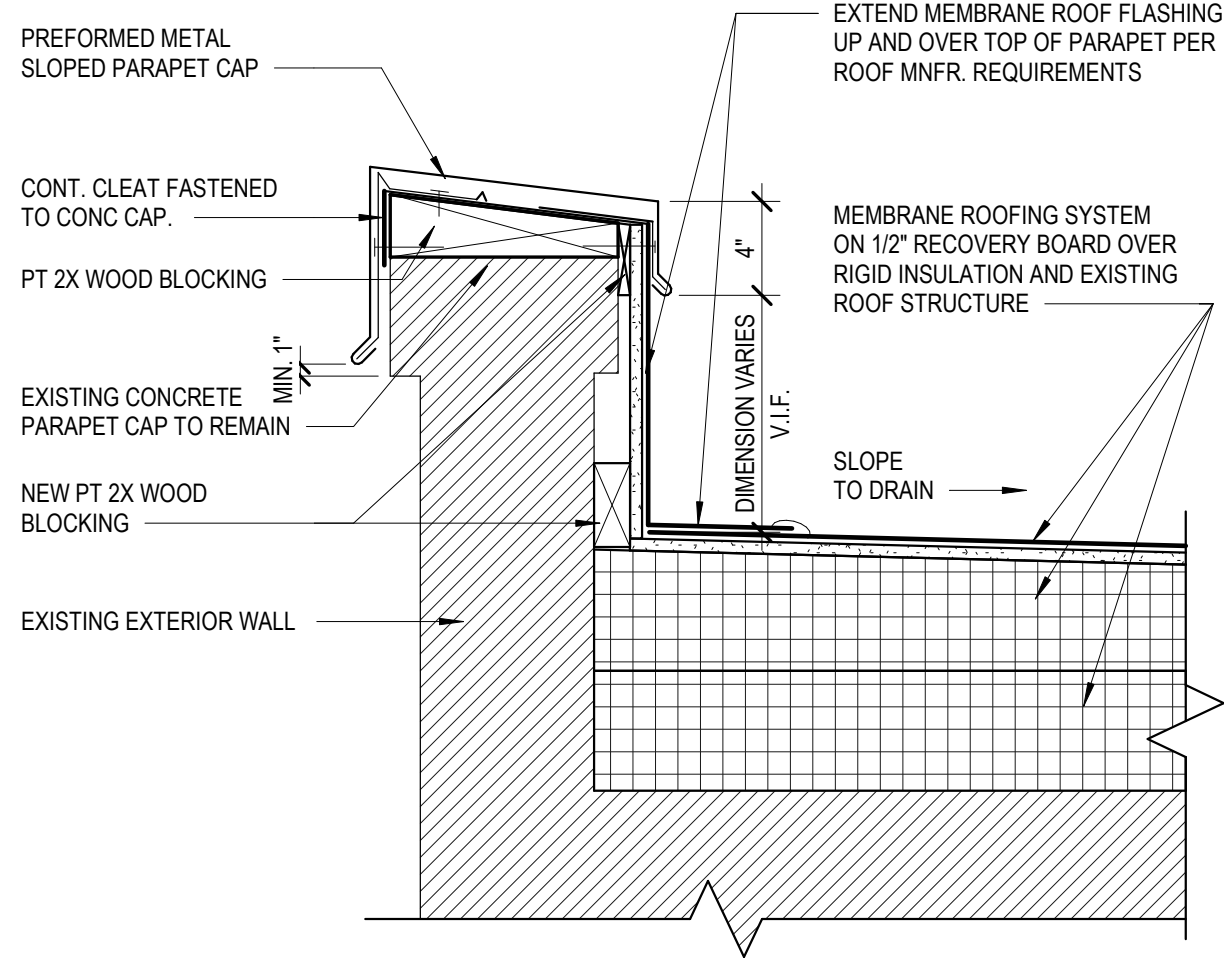
REVISIONS:		
No.	Description	Date

DRAWN BY: SPV
CHECKED BY: EJK
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

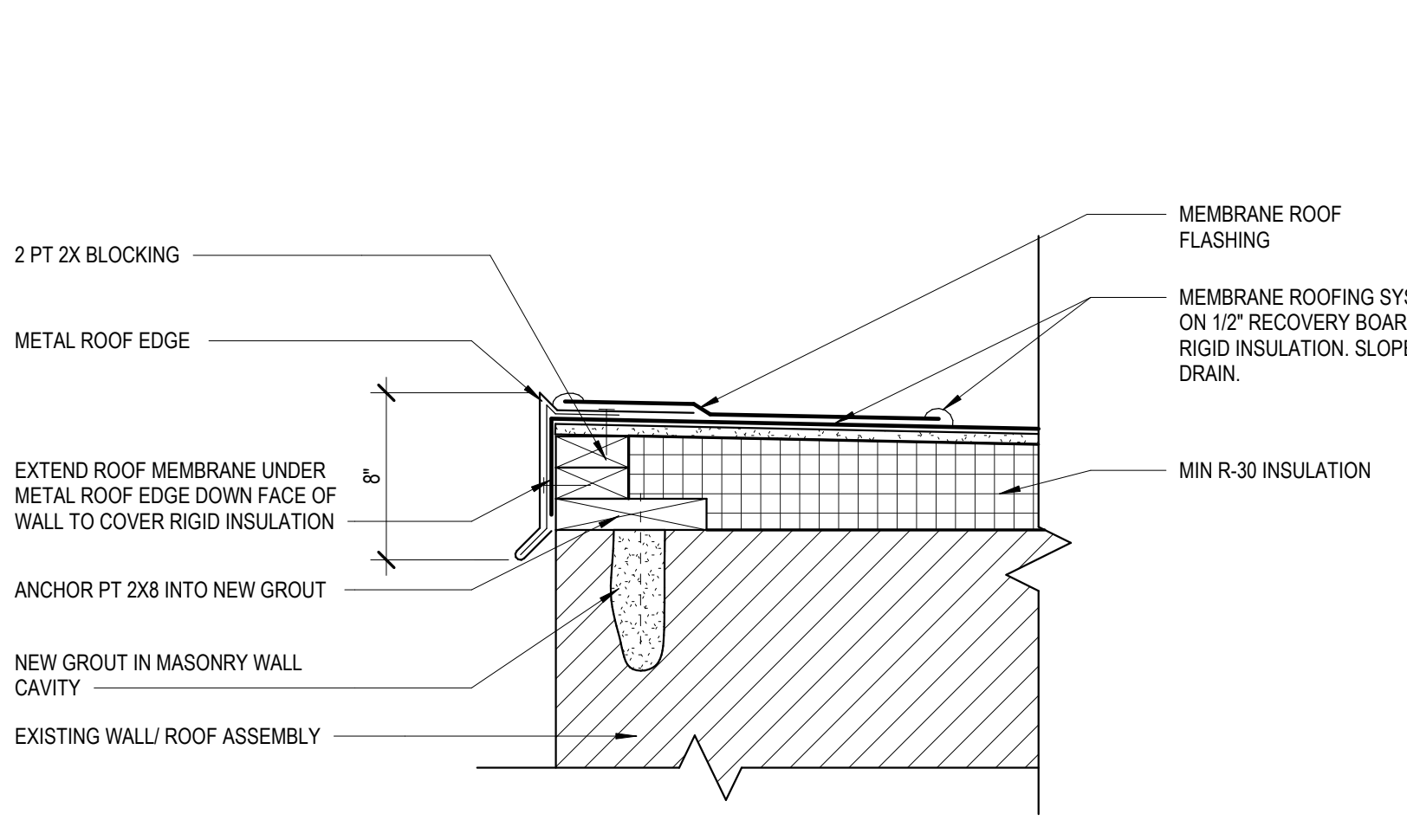
SHEET NUMBER
A401

CONTRACT DRAWINGS

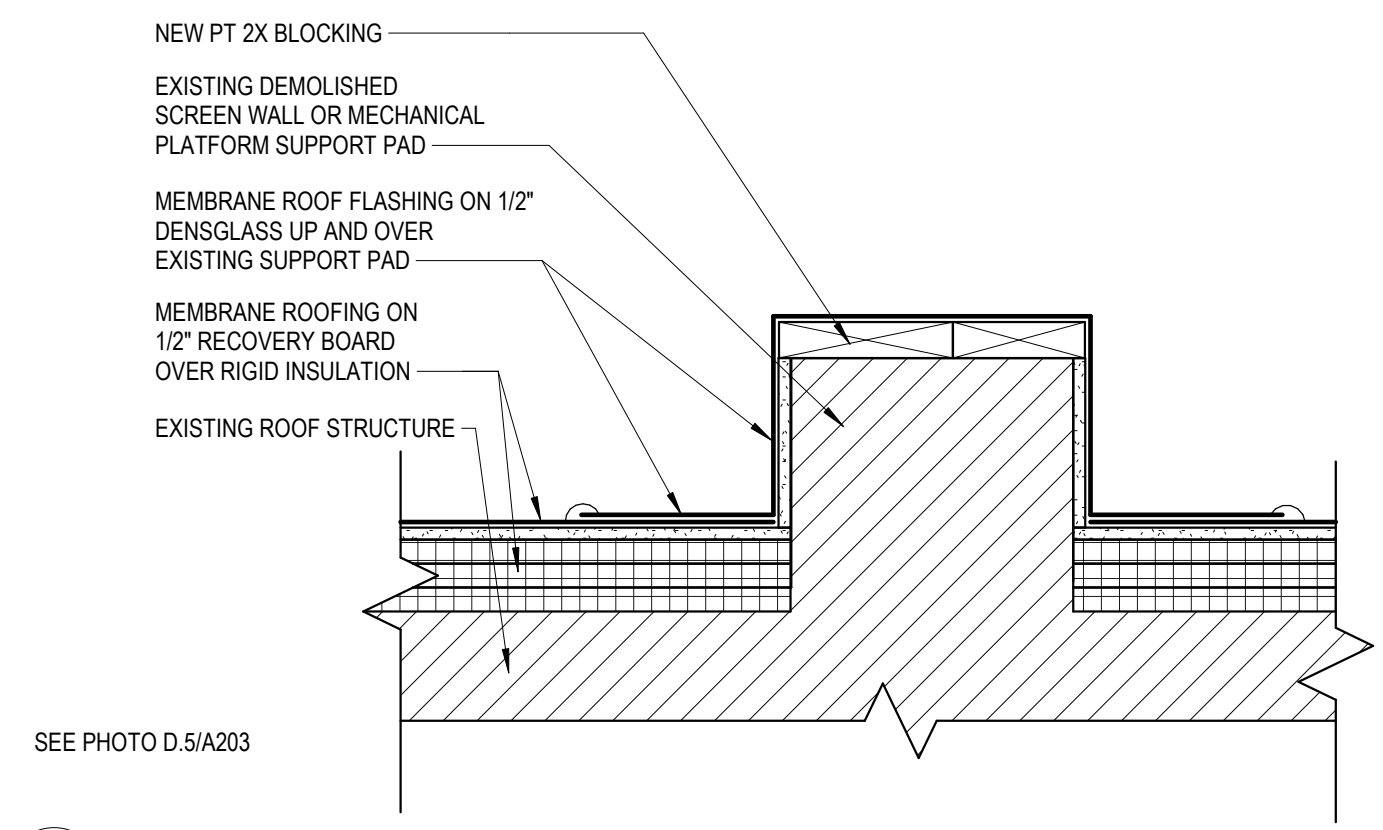
ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



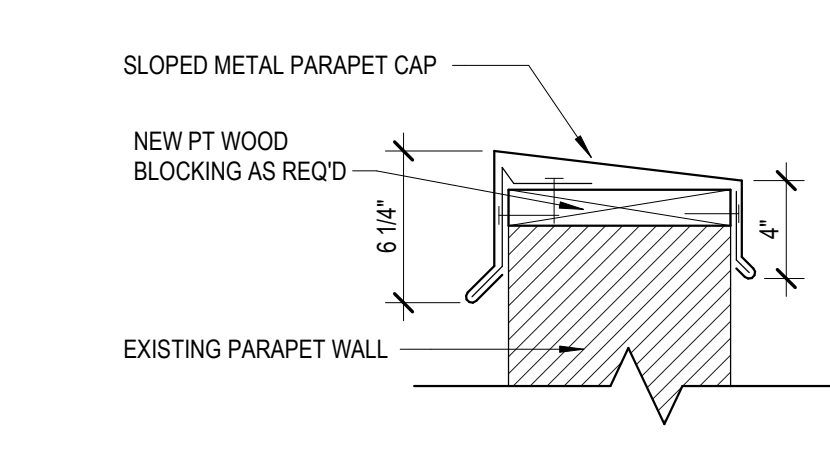
G1 EXISTING CONCRETE CAP ROOF PARAPET DETAIL
A402 1 1/2" = 1'-0"



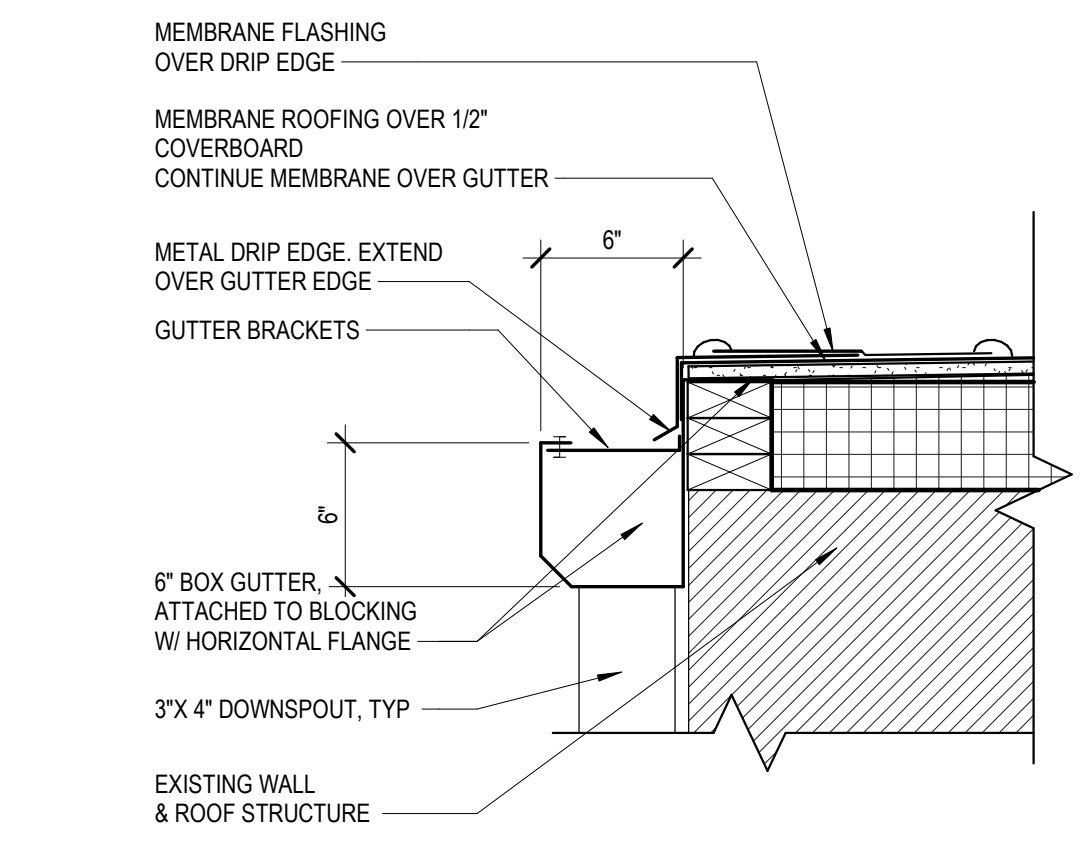
G3 ROOF EDGE DETAIL AT REMOVED PAPARET
A402 1 1/2" = 1'-0"



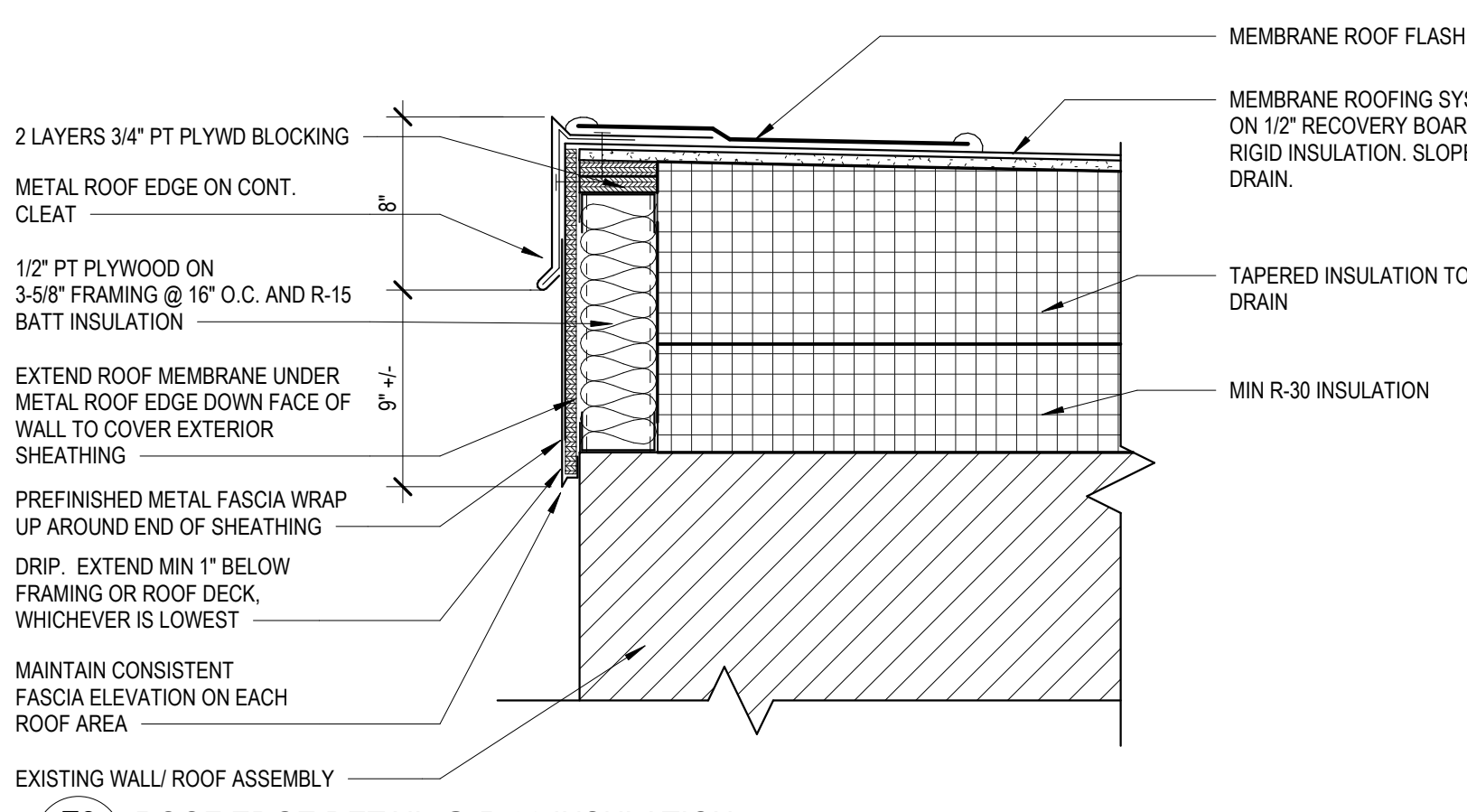
G6 EXISTING SUPPORT PAD FLASHING DETAIL
A402 1 1/2" = 1'-0"



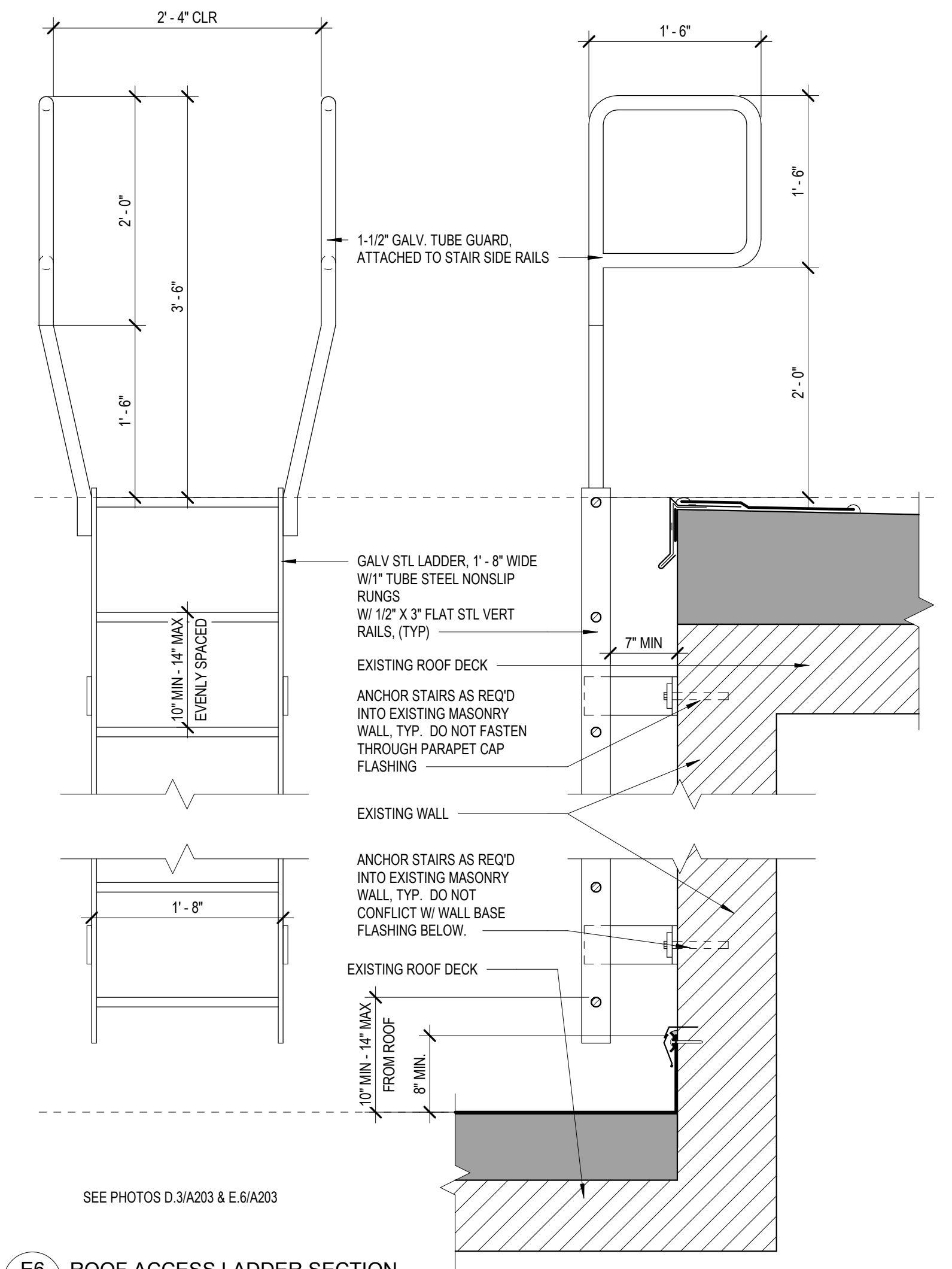
H9 PARAPET CAP DETAIL
A402 1 1/2" = 1'-0"



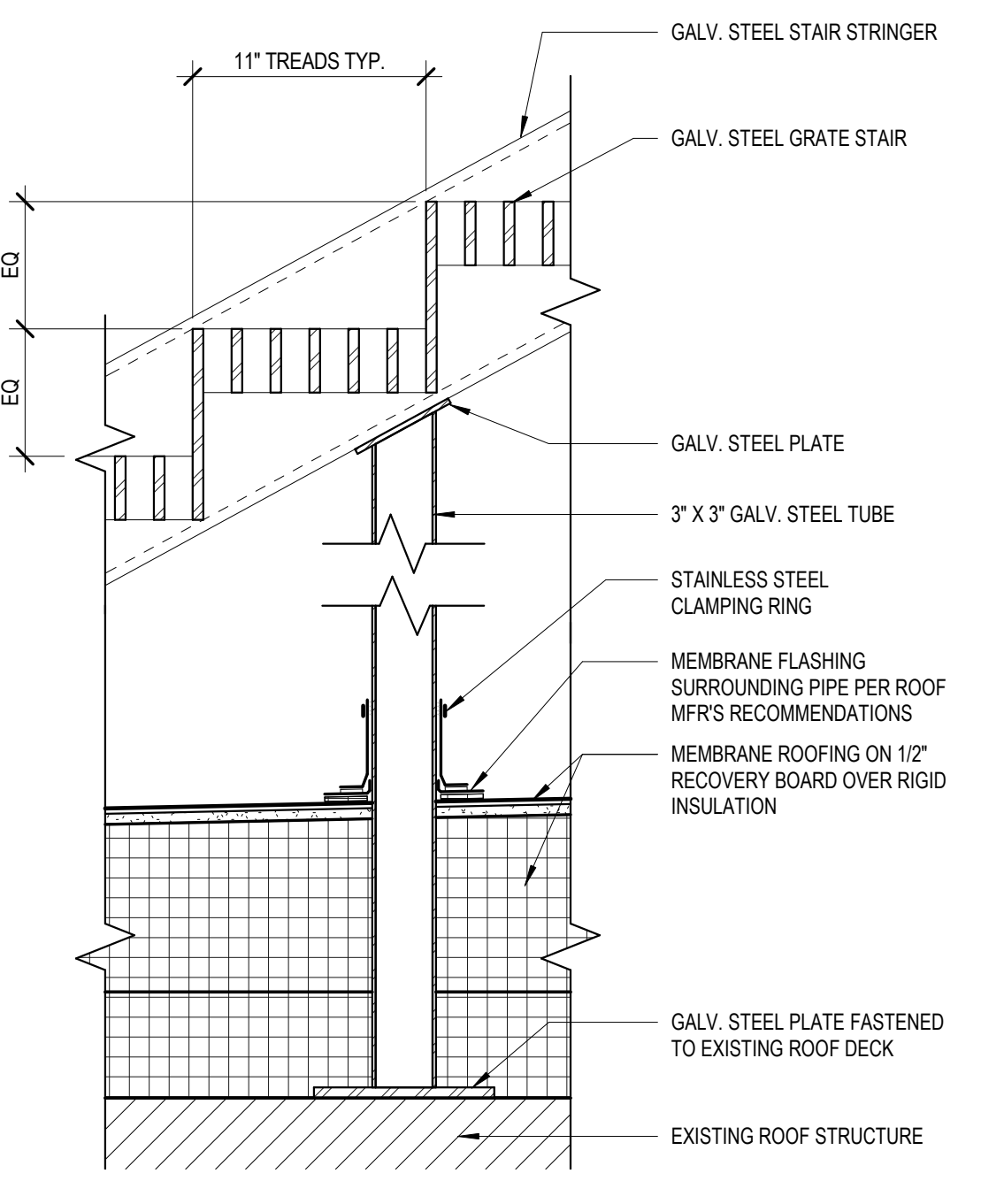
E1 TYPICAL GUTTER EDGE AT MEMBRANE ROOF
A402 1 1/2" = 1'-0"



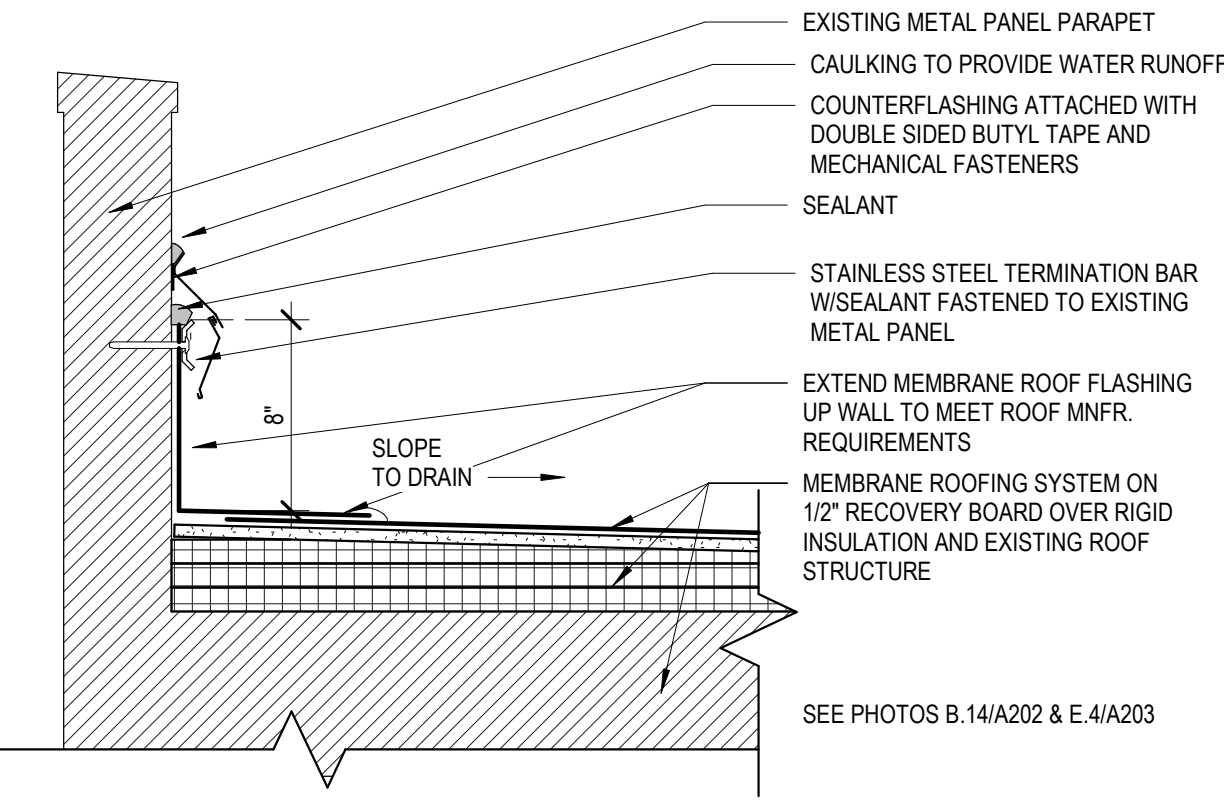
E3 ROOF EDGE DETAIL @ R-30 INSULATION
A402 1 1/2" = 1'-0"



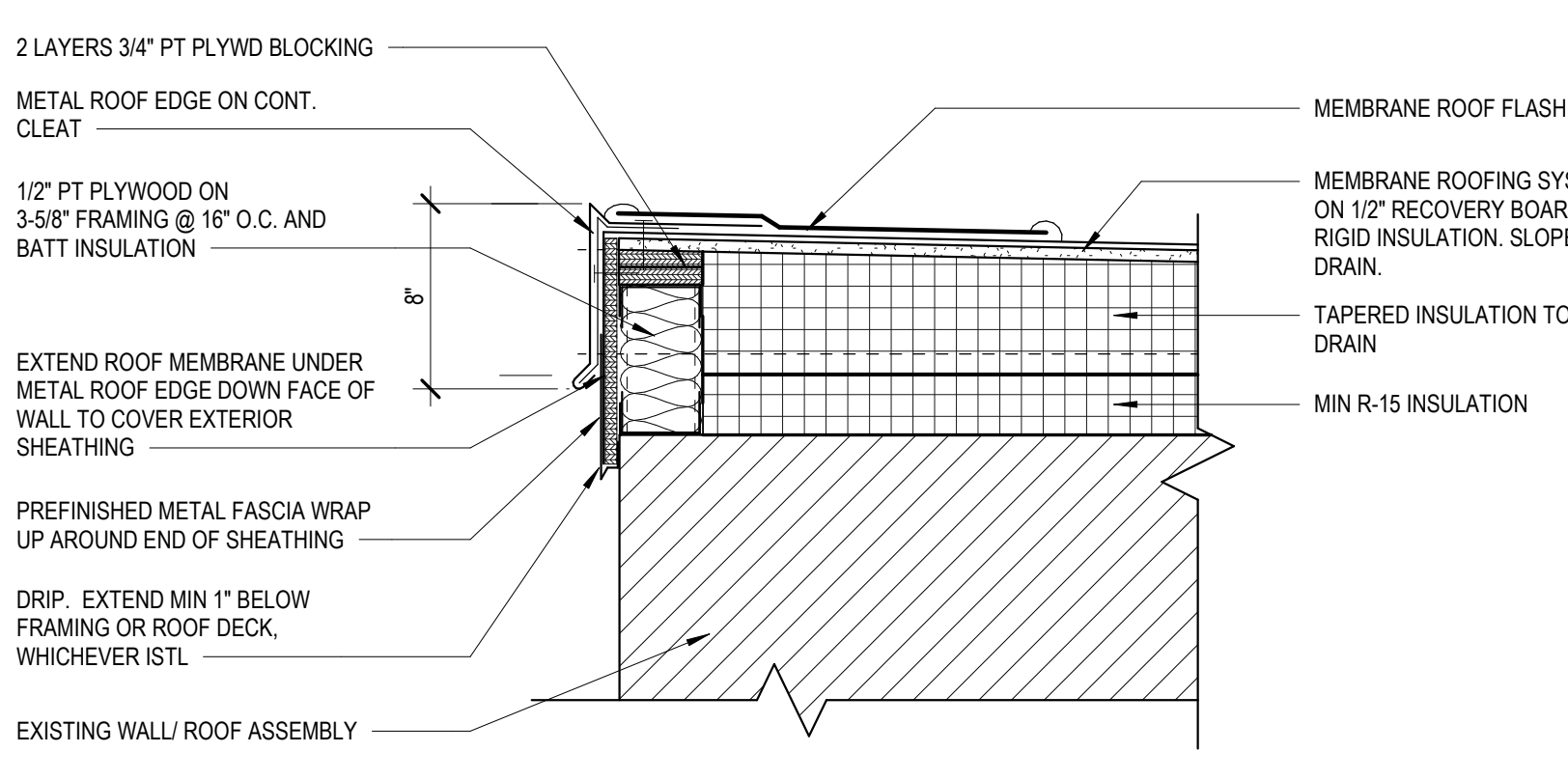
E6 ROOF ACCESS LADDER SECTION
A402 1" = 1'-0"



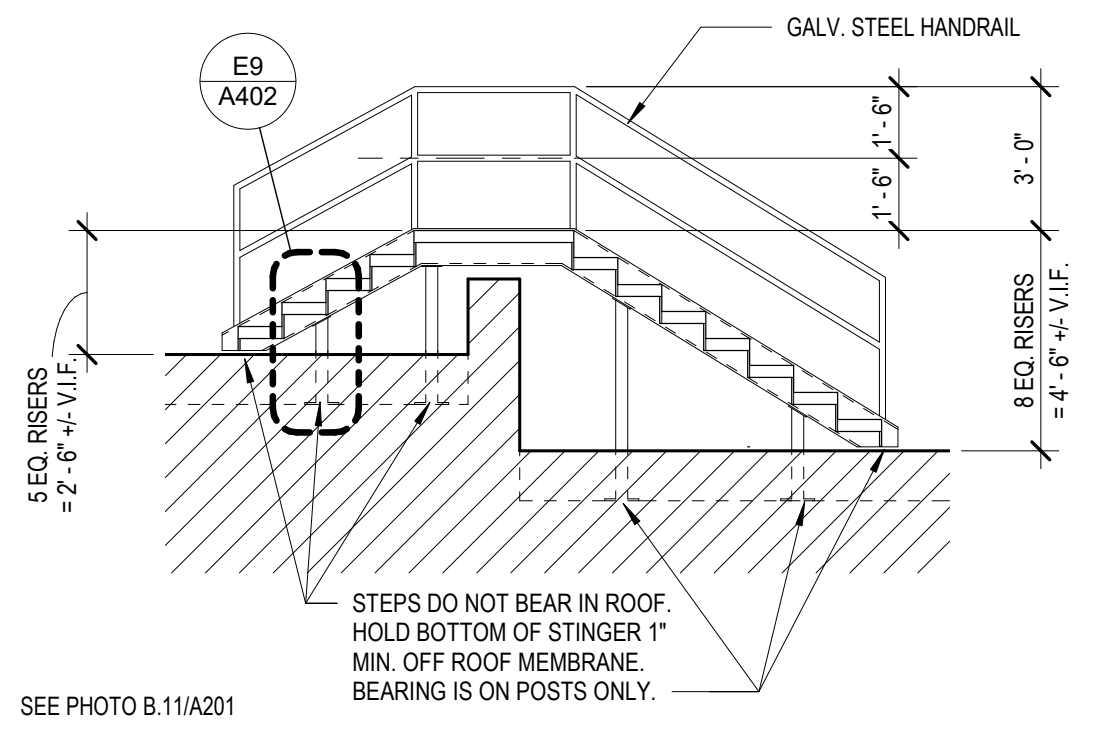
E9 ENLARGED STEPS SUPPORT SECTION
A402 1 1/2" = 1'-0"



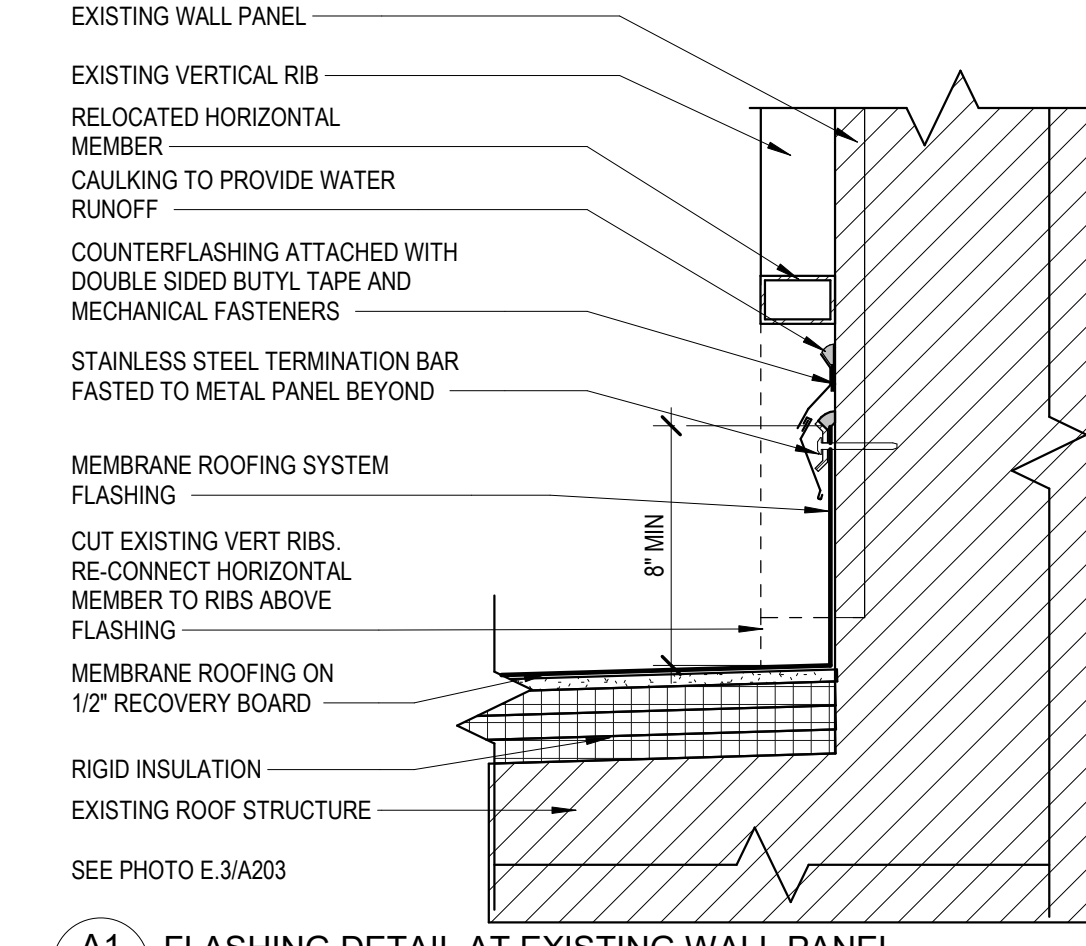
C1 EXISTING METAL PANEL ROOF PARAPET DETAIL
A402 1 1/2" = 1'-0"



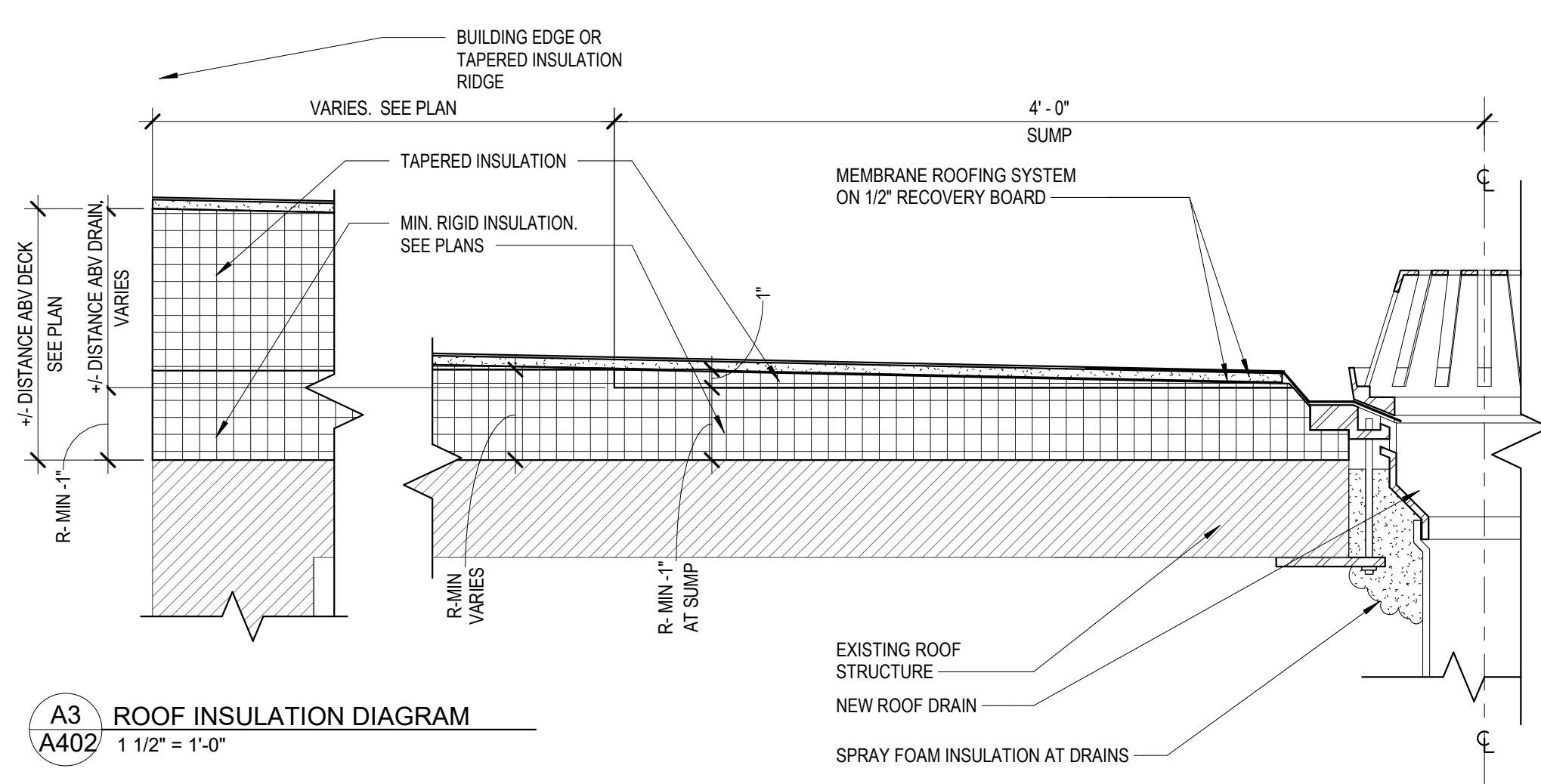
C3 ROOF EDGE DETAIL @ R-15 INSULATION
A402 1 1/2" = 1'-0"



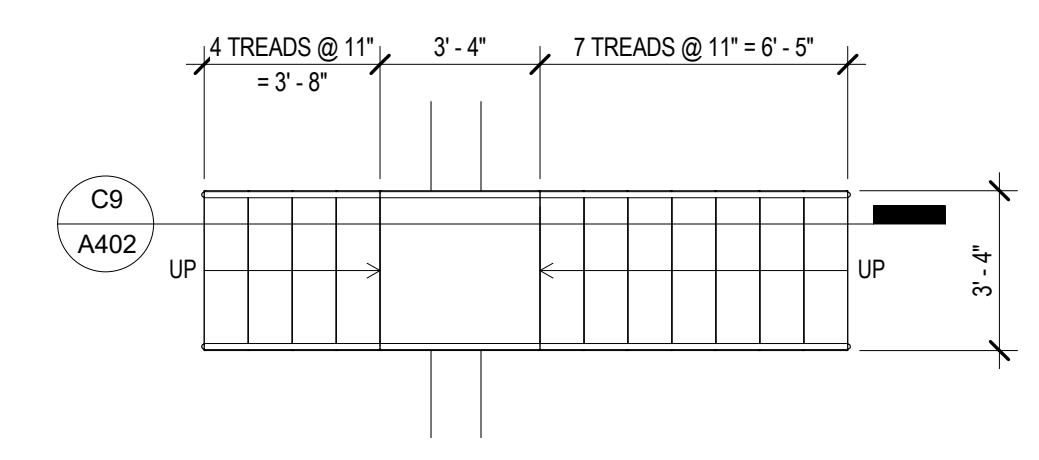
C9 ROOF STEPS SECTION
A402 1/4" = 1'-0"



A1 FLASHING DETAIL AT EXISTING WALL PANEL
A402 1 1/2" = 1'-0"



A3 ROOF INSULATION DIAGRAM
A402 1 1/2" = 1'-0"



A9 ROOF STEPS PLAN
A402 1/4" = 1'-0"

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

ROOF DETAILS

No.	Description	Date

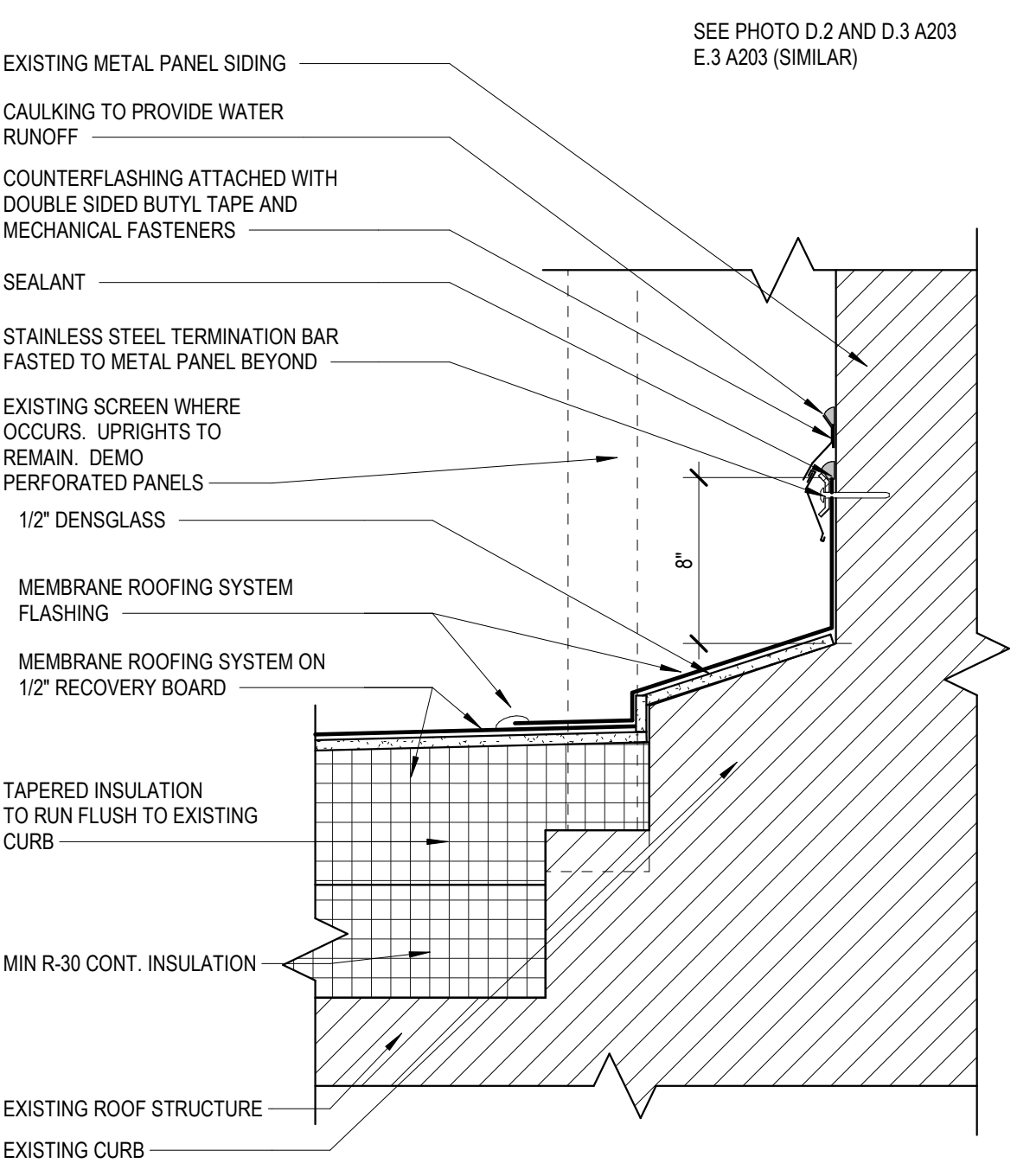
REVISIONS:

DRAWN BY: SPV
CHECKED BY: Checker
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07
SHEET NUMBER
A402

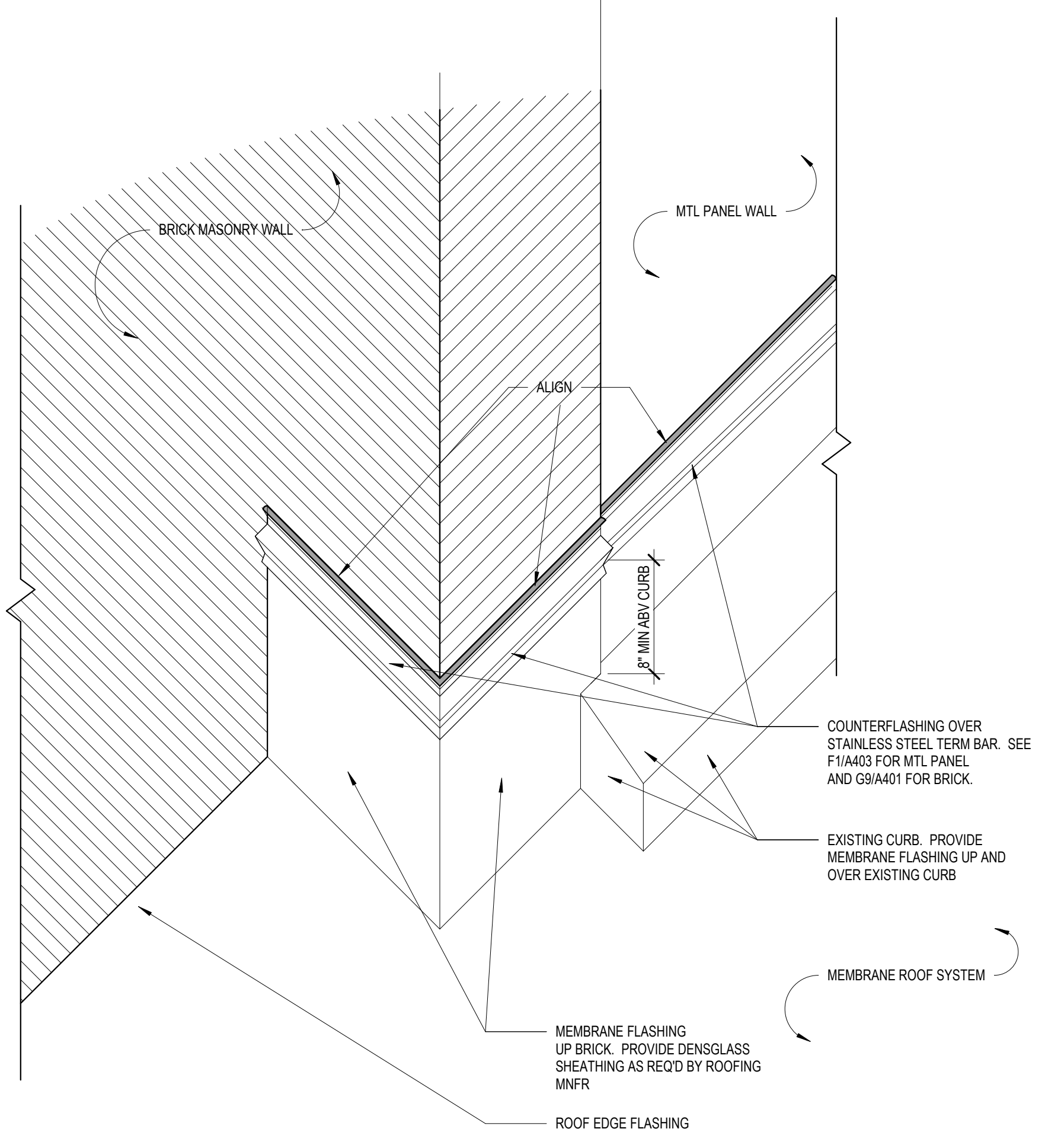
CONTRACT DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

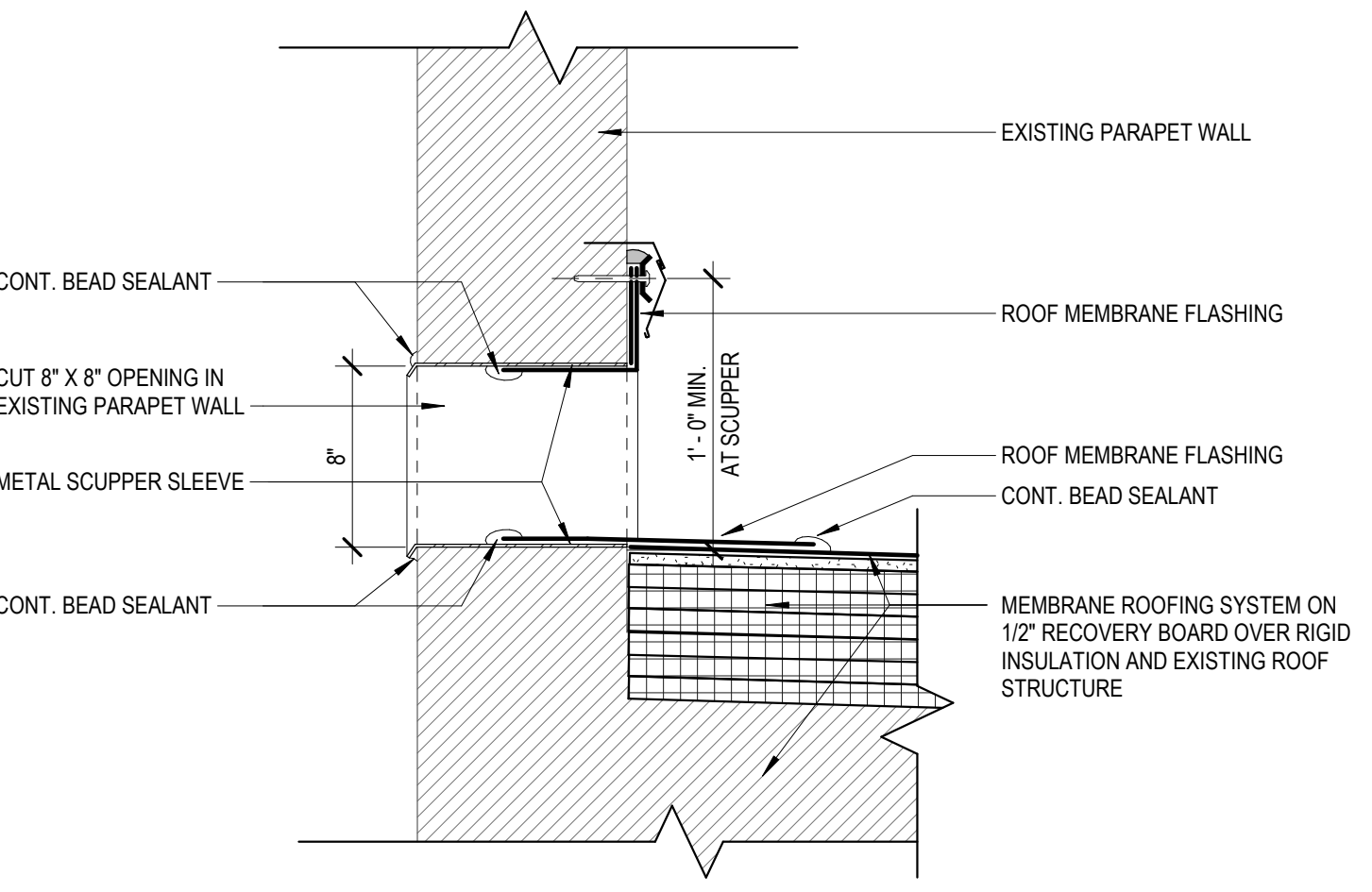
1 2 3 4 5 6 7 8 9 10



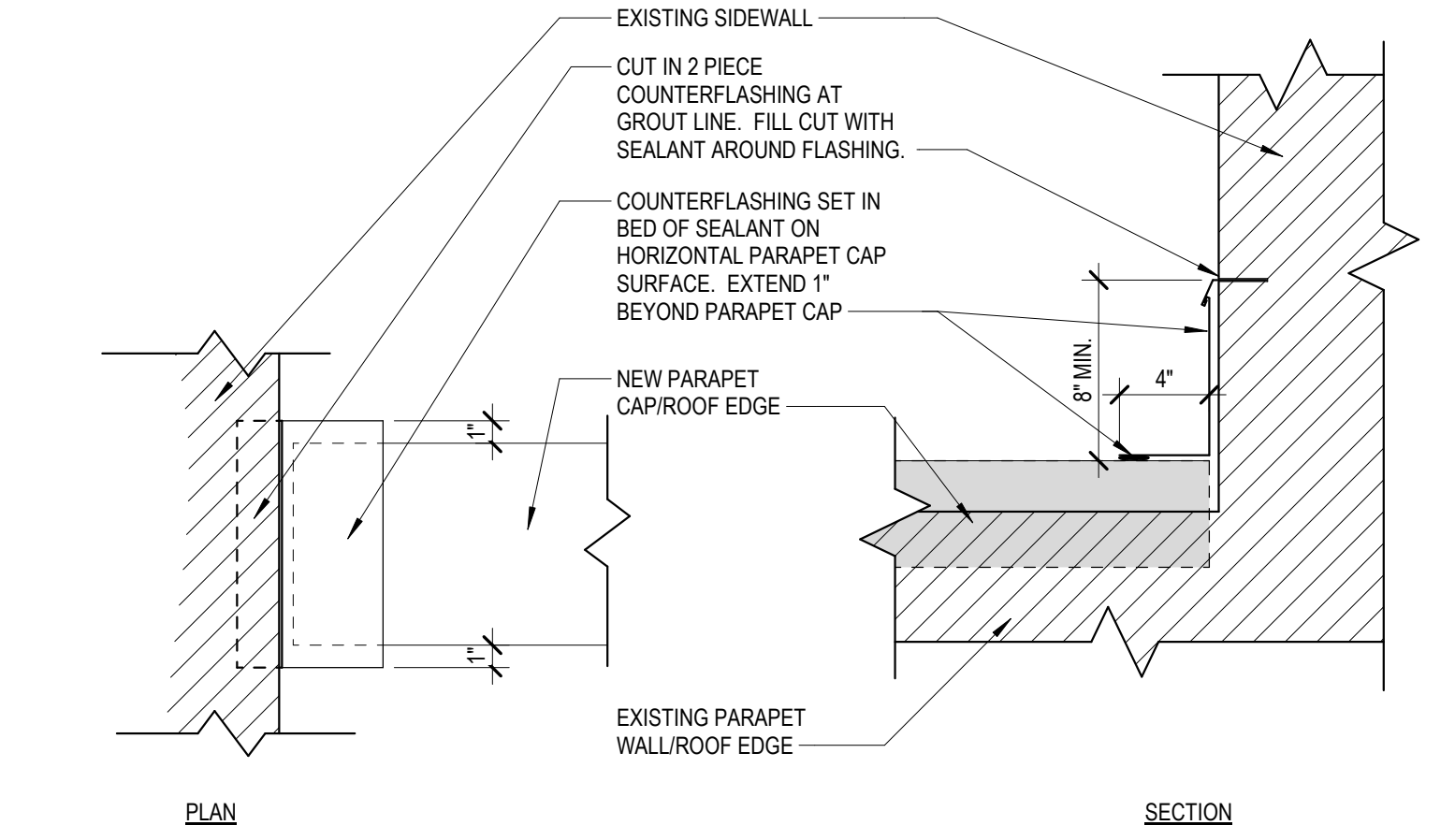
F1 FLASHING DETAIL AT EXISTING WALL PANELS - AREA D
A403 1 1/2" = 1'-0"



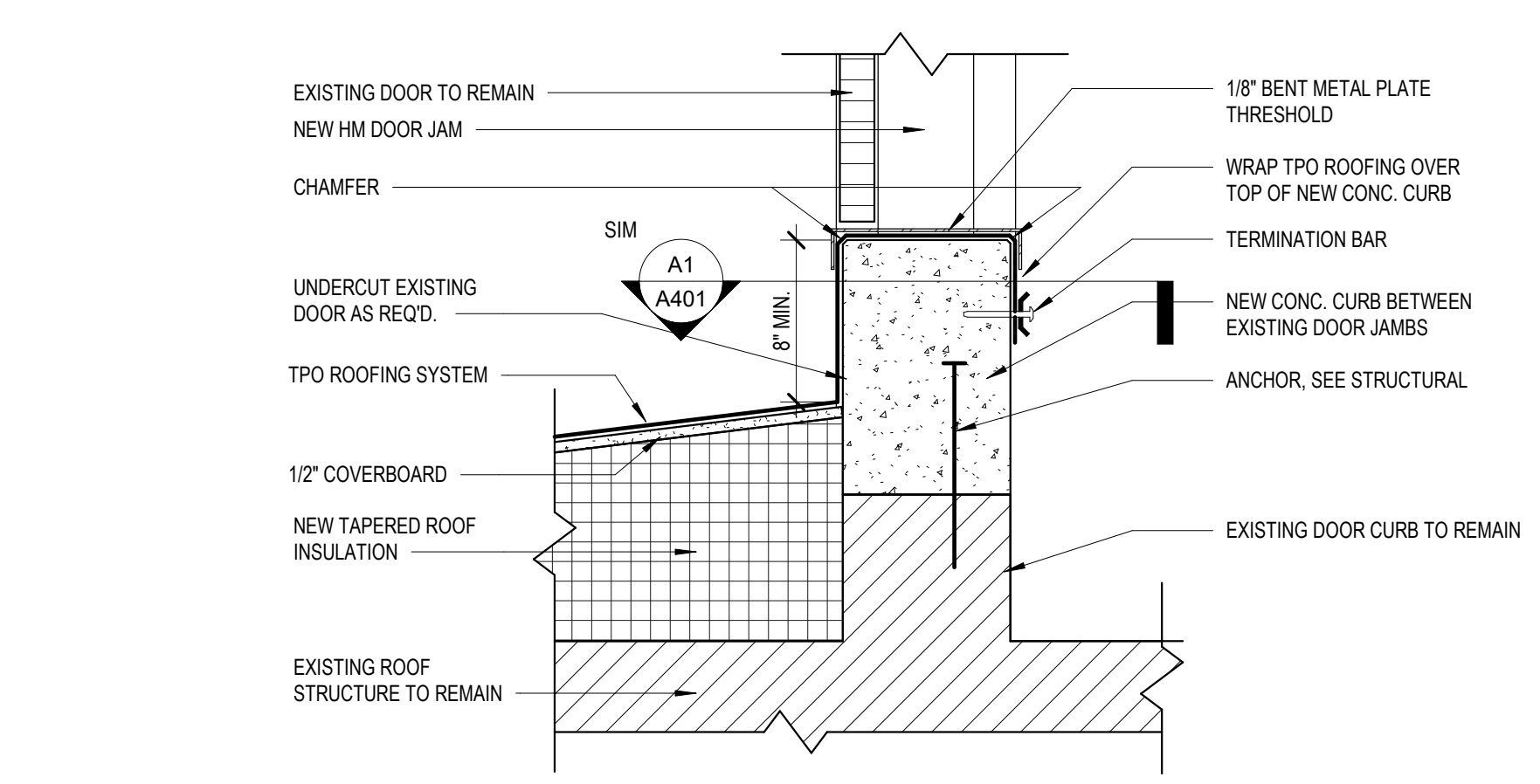
E4 AREA D AXO
A403 1 1/2" = 1'-0" SEE PHOTO D.2 A203



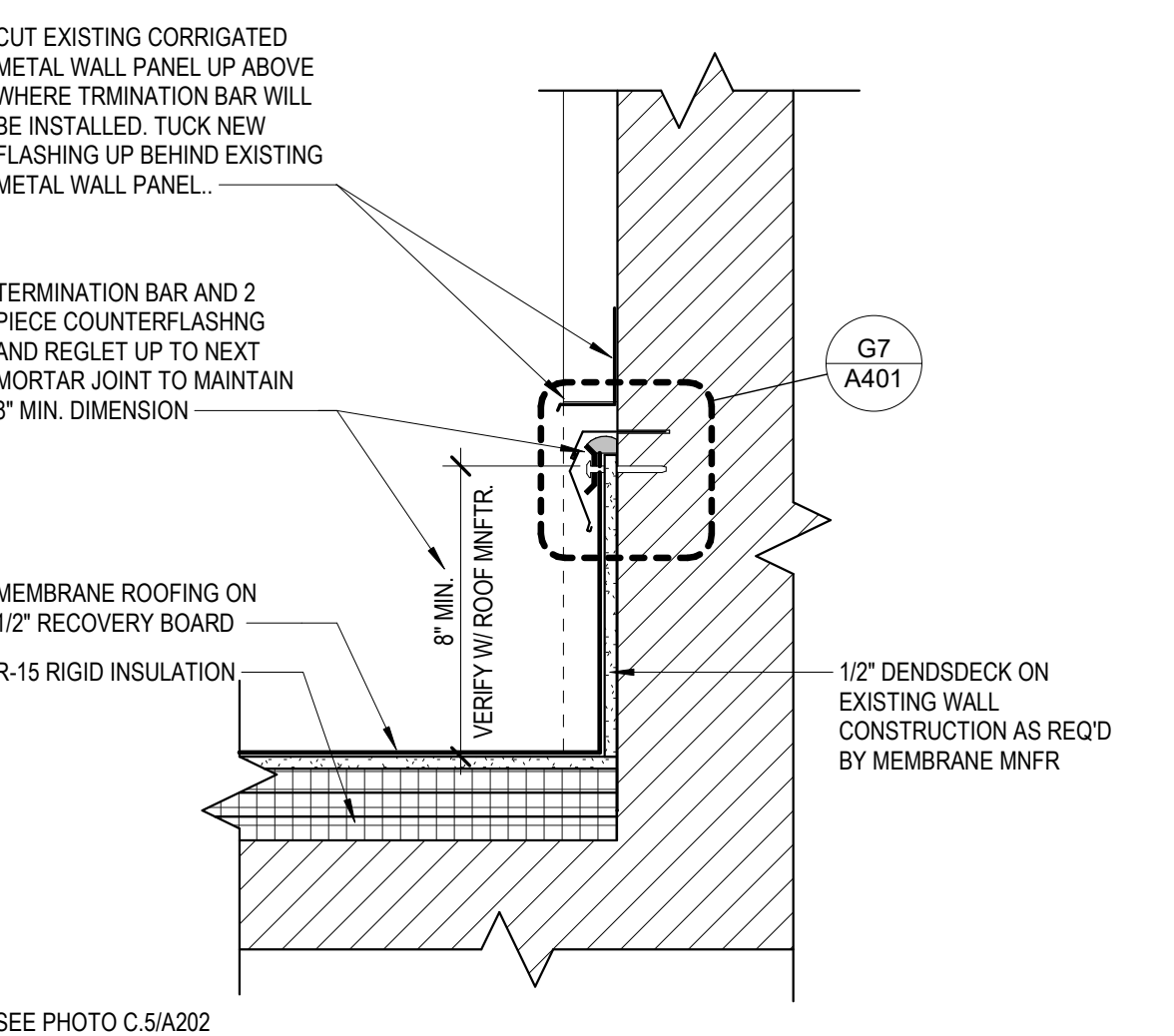
C1 NEW THRU WALL SCUPPER DETAIL
A403 1 1/2" = 1'-0"



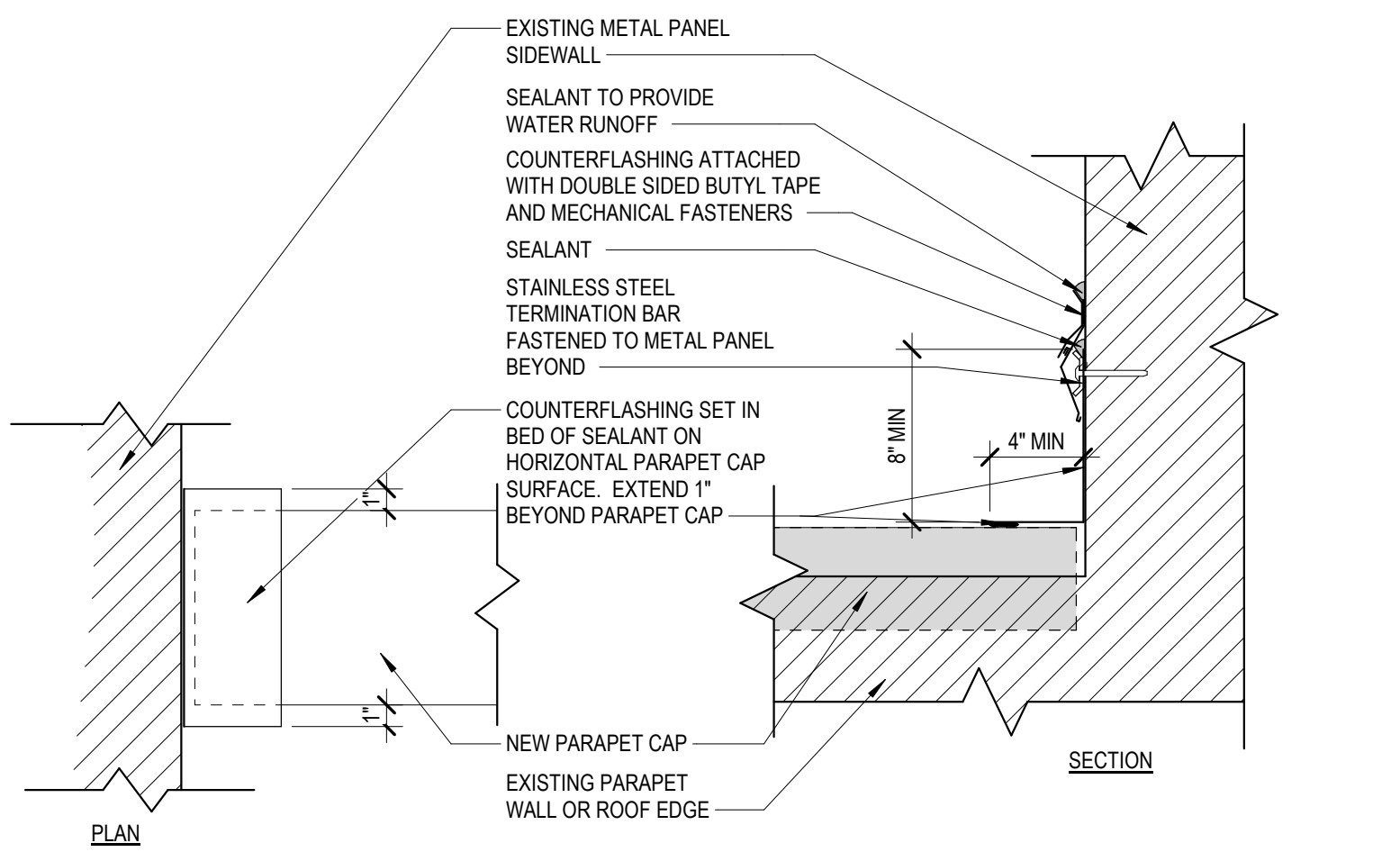
C4 TYPICAL MASONRY SIDEWALL Z FLASHING
A403 1 1/2" = 1'-0"



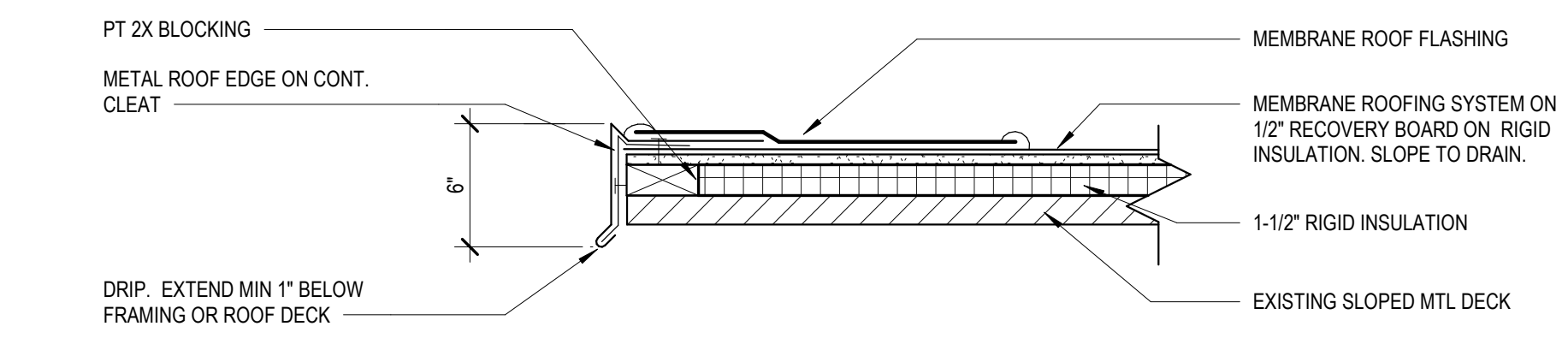
C7 FLASHING SECTION DETAIL AT NEW DOOR SILL
A403 1 1/2" = 1'-0"



A1 TERMINATION BAR FLASHING AT METAL WALL PANEL
A403 1 1/2" = 1'-0" SEE PHOTO C.5/A202



A4 TYPICAL METAL PANEL SIDEWALL Z FLASHING
A403 1 1/2" = 1'-0" SEE PHOTO D2 /A203



A7 ROOF EDGE DETAIL @ ALLEY CANOPY
A403 1 1/2" = 1'-0" SEE PHOTO E.9/A403

NOVUS
always new
ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE
NOVUSARCHITECTS.COM

NORTH CAROLINA
REGISTERED ARCHITECTURE COMPANY
52930
NOVUS BEWASHEVILLE, NC

NORTH CAROLINA
REGISTERED ARCHITECT
12207
EMILY J. KITE
10.4.21

**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA
ROOF DETAILS

REVISIONS:

No.	Description	Date

DRAWN BY: _____ Author
CHECKED BY: _____ Checker
DATE: OCTOBER 1, 2021
NOVUS JOB NUMBER
2015-3113.07

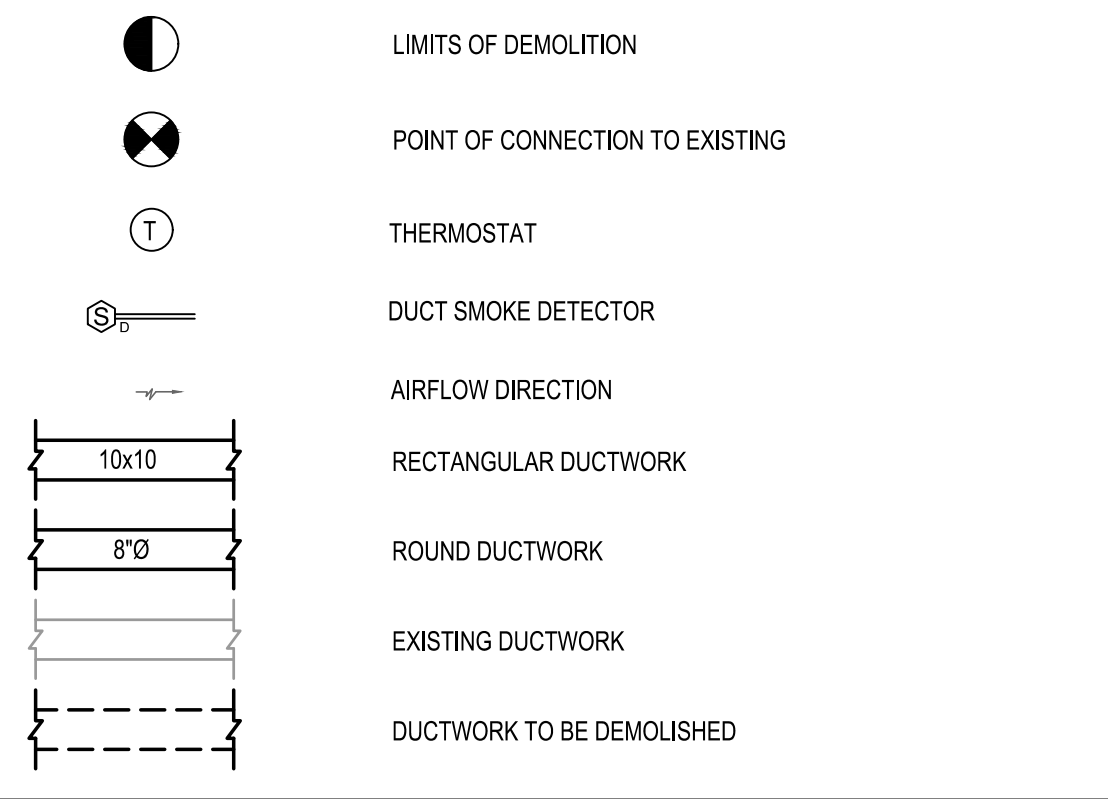
SHEET NUMBER
A403

CONTRACT DRAWINGS

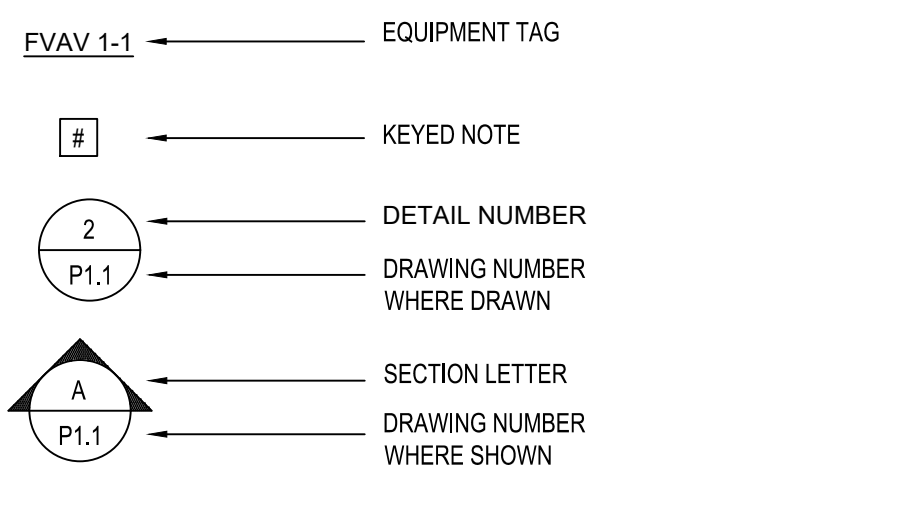
1 2 3 4 5 6 7 8 9 10

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

MECHANICAL LEGEND



DRAWING SYMBOLS



MECHANICAL ABBREVIATIONS

Table of mechanical abbreviations: AFF (Above Finished Floor), AFG (Above Finished Grade), AHU (Air Handling Unit), APD (Airsides Pressure Drop), BLDG (Building), CFM (Cubic Feet Per Minute), CV (Constant Volume), CWR (Chilled Water Return), CWS (Chilled Water Supply), DN (Down), EA (Exhaust Air), EAT (Entering Air Temperature), ETR (Existing to Remain), EX (Existing), GC (General Contractor), FPM (Feet Per Minute), GPM (Gallons Per Minute), HHWS (Heating Hot Water Supply), HP (Horsepower), MC (Mechanical Contractor), NTS (Not to Scale), OA (Outside Air), RA (Return Air), SA (Supply Air), VIF (Verify in Field).

MECHANICAL SYSTEMS AND EQUIPMENT

METHOD OF COMPLIANCE:

PRESCRIPTIVE ENERGY COST BUDGET

THERMAL ZONE 4A

EXTERIOR DESIGN CONDITIONS

WINTER DRY BULB: EXISTING
SUMMER DRY BULB: EXISTING

INTERIOR DESIGN CONDITIONS

WINTER DRY BULB: EXISTING
SUMMER DRY BULB: EXISTING
RELATIVE HUMIDITY: EXISTING

BUILDING HEATING LOAD: NO CHANGE - EXISTING

BUILDING COOLING LOAD: NO CHANGE - EXISTING

MECHANICAL SPACE CONDITIONING SYSTEM:

UNITARY - NOT APPLICABLE TO THIS PROJECT. EXISTING EQUIPMENT TO REMAIN.

BOILER - NOT APPLICABLE TO THIS PROJECT.

CHILLER - NOT APPLICABLE TO THIS PROJECT.

EQUIPMENT EFFICIENCIES:

NOT APPLICABLE TO THIS PROJECT. EXISTING EQUIPMENT TO REMAIN.

EQUIPMENT SCHEDULES WITH MOTORS:

SEE DRAWINGS FOR EFFICIENCIES.

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND NATIONAL CODES. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED FOR HIS WORK.
- 3. THE MECHANICAL CONTRACTOR SHALL INSTALL EQUIPMENT AS SHOWN ON THE DRAWINGS ALLOWING FOR SUFFICIENT ACCESS AND CLEARANCE SPACE FOR EQUIPMENT MAINTENANCE, REPAIRS AND REPLACEMENT. PROVIDE PROPER CLEARANCES FOR REQUIRED PIPING AND ELECTRICAL SERVICES AND CONNECTIONS. INSTALL ALL EQUIPMENT WITH REQUIRED ACCESS AND CLEARANCES IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS AND/OR WITH ALL APPLICABLE CODES AND STANDARDS.
- 4. THE MECHANICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION AND ROUTING OF ALL PROPOSED DUCTWORK, PIPING AND EQUIPMENT WITH THE EXISTING BUILDING STRUCTURE.
- 5. THE MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL HIS OWN SUPPORT EQUIPMENT. LOCATIONS SHALL BE COORDINATED WITH ALL CONTRACTORS PRIOR TO INSTALLATION.
- 6. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTROL WIRING FOR HIS EQUIPMENT.
- 7. DUCTWORK AND PIPING LAYOUTS AND LOCATIONS ARE SCHEMATIC. DO NOT SCALE THESE DRAWINGS. EXACT ROUTING OF DUCTWORK AND PIPING MUST BE DETERMINED IN THE FIELD. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR BY ACTUAL MEASUREMENT AND OBSERVATION BEFORE ORDERING OR FABRICATING ANY DUCTWORK, PIPING OR EQUIPMENT. ANY DISCREPANCIES BETWEEN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS OR DIMENSIONS SHALL BE REPORTED TO THE ENGINEER BEFORE THE PERFORMANCE OF ANY WORK. FAILURE TO VERIFY AND REPORT SHALL CONSTITUTE THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS AS FIT FOR THE PROPER EXECUTION OF HIS WORK.
- 8. ALL DUCT SIZES SHOWN ARE FREE AREA SIZES.
- 9. SUPPLY DUCT JOINTS SHALL BE SEALED AIRTIGHT. ALL SQUARE BENDS OR ELBOW FITTINGS SHALL HAVE TURNING VANES. PROVIDE SPLITTER DAMPERS AT SUPPLY TEES AND EXTRACTORS AT ALL SUPPLY AIR BRANCHES. PROVIDE BALANCING DAMPERS IN ALL DUCTS WHERE REQUIRED FOR SYSTEM BALANCING AS SHOWN ON PLANS OR AS REQUIRED.
- 10. REPLACE ALL FILTERS JUST PRIOR TO ACCEPTANCE BY THE OWNER.
- 11. TEST AND BALANCE SHALL BE PERFORMED IN ACCORDANCE WITH "AABC" REQUIREMENTS. AIR FLOW AND STATIC PRESSURE SHALL BE MEASURED AND RECORDED FOR ALL OUTLETS ON EACH AIR SYSTEM. PROVIDE COMPLETE TEST AND BALANCE REPORTS.
- 12. THE CONTRACTOR SHALL ENSURE ANY EQUIPMENT REMOVED AND/OR NOTED FOR RE-INSTALLATION WITHIN THE PROXIMITY OF PARAPET(S) SCOPE FOR REMOVAL ARE NO LESS THAN SIX (6) FEET FROM THE ROOF EDGE OR THAT ADEQUATE FALL PROTECTION IS PROVIDED. REFERENCE AND COORDINATE WITH ARCHITECTURAL DRAWINGS.
- 13. THE CONTRACTOR SHALL COORDINATE AND VERIFY CURBING AND SUPPORT REQUIREMENTS WITH THE ROOFING CONTRACTOR TO ENSURE THE FLASHED CURBING ELEVATES THE EQUIPMENT NO LESS THAN 8-INCHES ABOVE THE FINISHED ROOFING SYSTEM AND AT A FINISHED ELEVATION ABOVE THE FINISHED ROOF MATCHING THAT OF THE PRE-CONSTRUCTION CONDITION. THE CONTRACTOR SHALL DOCUMENT PRE-CONSTRUCTION FINISHED ELEVATIONS FOR ALL EQUIPMENT DESIGNATE FOR REINSTALLATION PRIOR TO COMMENCEMENT OF WORK.

TEST AND BALANCE NOTES

- REFER TO PROJECT SPECIFICATIONS FOR COMPLETE TEST AND BALANCE REQUIREMENTS ON ALL NEW WORK. IN ADDITION, THE FOLLOWING TEST AND BALANCE REQUIREMENTS SHALL BE PROVIDED.
- 1. PRE CONSTRUCTION TEST AND BALANCE DATA: PRIOR TO BEGINNING WORK. ALL DUCTED AIR HANDLING SYSTEMS, EXHAUST FANS, MAKEUP AIR SYSTEMS, HYDRONIC COIL VALVES, AND OTHER HVAC EQUIPMENT DESIGNATED FOR REMOVAL AND RE-INSTALLATION SHALL HAVE TEST AND BALANCE DATA RECORDED. DUCT TRAVERSES AND TOTAL AIR FLOW STATIC PRESSURE READINGS SHALL BE TAKEN AT EACH DUCT MAIN TAKEOFF IN ORDER TO VERIFY AIRFLOW AND STATIC PRESSURE FOR EACH SYSTEM. A SYSTEM SCHEMATIC WITH TEST DATA AND LOCATIONS SHALL BE PROVIDED AS PART OF THE SUBMITTED REPORT.
- 2. POST CONSTRUCTION TEST AND BALANCE DATA: UPON THE COMPLETE RE-INSTALLATION OF THE ABOVE HVAC EQUIPMENT, THE EQUIPMENT SHALL HAVE A TEST AND BALANCE RECORDED. THE TEST AND BALANCE CONTRACTOR SHALL VERIFY FAN STATIC PRESSURE SETPOINTS TO ENSURE PRESSURES AND AIRFLOWS MEET THE PRE-CONSTRUCTION PRESSURE AND AIRFLOW LEVELS. SUBMIT REPORT FOR OWNER/ARCHITECT/ENGINEER REVIEW.

MECHANICAL WORK SPECIFICATIONS

GENERAL

RELATED DOCUMENTS - THE OWNER'S GENERAL CONDITIONS, THE SUPPLEMENTARY GENERAL CONDITIONS AND OWNERS GENERAL REQUIREMENTS FORM A PART OF THE CONTRACT AND ALL SUBCONTRACTS AND SHALL GOVERN THE WORK PERFORMED UNDER EACH SECTION OF THE SPECIFICATION.

SCOPE OF WORK - PROVIDE ALL MATERIALS, TOOLS AND LABOR REQUIRED TO PERFORM THE WORK SHOWN ON THE DRAWING AND DESCRIBED IN THESE SPECIFICATIONS. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS REQUIRED FOR HIS WORK.

- WORK SHALL INCLUDE INSTALLATION OF
- TEMPORARY REMOVAL AND REPLACEMENT OF AIR HANDLING UNITS
- LOW PRESSURE DUCTWORK
- ELECTRIC/ELECTRONIC CONTROLS, POWER WIRING TO CONTROLS
- AIR BALANCING
- TEMPORARY REMOVAL AND REPLACEMENT OF EXHAUST FANS

REGULATORY REQUIREMENTS - ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES INCLUDING THE 2018 NORTH CAROLINA STATE BUILDING CODE AND THE 2018 NORTH CAROLINA MECHANICAL CODE AS ADOPTED BY THE LOCAL GOVERNMENT. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED TO CONFLICT WITH ANY LAWS, ORDINANCES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION OVER THE CONTRACT WORK AND ALL REQUIREMENTS SHALL BE COMPLIED WITH THROUGHOUT, WITHOUT ADDITIONAL COST TO THE OWNER.

INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS WHICH SHALL BE AVAILABLE AT THE JOB SITE.

SITE VISIT - CONTRACTORS ESTIMATING THIS WORK SHALL VISIT THE SITE AND FULLY INFORM THEMSELVES OF THE NATURE OF THE WORK AND CONDITIONS, AND OBTAIN ALL NECESSARY INFORMATION TO ESTIMATE AND EXECUTE THE WORK. FAILURE TO DO SO WILL IN NO WAY OBLIGATE THE OWNER FOR ANY OMISSIONS OR ERRORS RESULTING FROM SUCH NEGLIGENCE.

DRAWINGS - WHILE THE DRAWINGS SHOW THE GENERAL LOCATION, ARRANGEMENT AND EXTENT OF WORK TO BE DONE, THE EXACT SIZES, LOCATIONS AND ARRANGEMENT ARE SUBJECT TO CONDITIONS EXISTING AT THE BUILDING.

SHOP DRAWING - PROVIDE FOR DUCTWORK, INSULATION AUTOMATIC TEMPERATURE CONTROLS, PIPING & ACCESSORIES, AND SHALL BE SUBMITTED TO THE ENGINEER FOR EXAMINATION AND COMMENT.

GENERAL PHASING REQUIREMENTS - THE CONTRACTOR SHALL MEET WITH THE BUILDING OWNER, ENGINEER, AND ARCHITECT PRIOR TO DEVELOPING THEIR DETAILED SCHEDULE TO DISCUSS OWNER CONCERNS AND SCHEDULING TO MINIMIZE DISRUPTION.

PROCEDURE AND COORDINATION - PIPE LINES, CONDUITS, ETC., OTHER THAN MECHANICAL CONTRACT WORK SHALL BE UNDER INSTALLATION THROUGHOUT THE BUILDING SITE AND THIS CONTRACTOR SHALL CONSULT WITH ALL OTHER TRADES TO COORDINATE THE ASSEMBLY AND INSTALLATION OF ALL TRADES TO AVOID CONFLICT AND NEED FOR REARRANGEMENT, AS NO EXTRAS SHALL BE GRANTED DUE TO LACK OF COORDINATION.

THE CONTRACTOR SHALL SCHEDULE THEIR WORK AT THE CONVENIENCE OF THE OWNER TO MINIMIZE INTERFERENCE WITH BUILDING OPERATIONS.

MECHANICAL EQUIPMENT SHALL BE INSTALLED IN A MANNER TO PERMIT EASE OF SERVICE AND THE MECHANICAL CONTRACTOR SHALL INFORM OTHER TRADES OF ACCESS REQUIREMENT TO PREVENT INTERFERENCE WITH SAME.

CRANE ACCESS - CONTRACTOR SHALL COORDINATE ALL ASPECTS OF CRANE OR RIGGING OPERATION AND TIMING WITH THE BUILDING OWNER/ENGINEER.

CUTTING AND PATCHING - CUTTING WHERE NECESSARY FOR MECHANICAL WORK SHALL BE DONE BY THE MECHANICAL CONTRACTOR IN A NEAT AND CAREFUL MANNER TO PREVENT DAMAGE OR WEAKENING OF WALLS, ROOF OR FLOORS AND SHALL MEET THE APPROVAL OF THE ENGINEER. PATCHING CAUSED BY THE MECHANICAL CONTRACTOR SHALL BE DONE BY THE MECHANICAL CONTRACTOR.

SALVAGE AND SCRAP - REMOVED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER. UNWANTED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF PROPERLY BY THE MECHANICAL CONTRACTOR.

PENETRATION SEALS - OPENINGS AROUND THE NEW DUCTS AND PIPES WHERE THEY PASS THROUGH FIRE/SMOKE PARTITIONS SHALL BE PACKED WITH AN APPROVED MATERIAL TO PREVENT THE SPREAD OF FIRE OR PRODUCTS OF COMBUSTION. SUITABLE PRODUCTS OF 3-M OR DOW CORNING SHALL BE USED.

WORK BY OTHERS - CERTAIN LABOR AND MATERIALS WHICH ARE REQUIRED TO ACCOMMODATE THE MECHANICAL WORK BUT WHICH ARE NOT INCLUDED IN THIS CONTRACT ARE AS FOLLOWS:

THE GENERAL CONTRACTOR SHALL INSTALL FLASH ROOF CURBS AND PIPE PORTALS AND ROOF-TOP UNIT CURB PROVIDED BY THE MECHANICAL CONTRACTOR. PATCH ROOFING AND FLASH AS REQUIRED.

THE GENERAL CONTRACTOR SHALL CUT ALL HOLES THROUGH THE ROOF REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT AND PIPING.

THE GENERAL CONTRACTOR SHALL PROVIDE ALL STRUCTURAL MEMBERS REQUIRED TO SUPPORT ROOFTOP EQUIPMENT.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE ADEQUATE ELECTRICAL SERVICE FOR NEW MECHANICAL EQUIPMENT AND INSTALL ALL POWER WIRING AND ELECTRICAL DEVICES AS SHOWN ON THE MECHANICAL DRAWINGS OR REQUIRED.

OUTDOOR INTAKES SHALL BE SCREENED WITH A CORROSION RESISTANT MESH NOT SMALLER THAN 1/2" AND LOCATED A MINIMUM OF 10 FEET AWAY FROM ANY EXHAUST OR SANITARY SEWER VENT OUTLETS. EXHAUST OUTLETS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING DOOR OR OPERABLE WINDOW.

WARRANTY - THE CONTRACTOR SHALL WARRANT THEIR WORKMANSHIP, MATERIALS AND ALL EQUIPMENT FOR A PERIOD OF ONE YEAR. THE CONTRACTOR SHALL REPAIR, REPLACE OR CORRECT ANY ITEM THAT IS FOUND DEFECTIVE IN THE TIME PERIOD OF ONE YEAR AFTER WHEN THE PROJECT IS ACCEPTED BY THE OWNER.

INSULATION

INSULATION COVERING - SURFACE BURNING CHARACTERISTICS: FLAME SPREAD/SMOKE DEVELOPED INDEX OF 25/50, MAXIMUM, WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

DUCTWORK LOCATED OUTSIDE OF THE BUILDING OR OUTSIDE THE THE BUILDING INSULATION SYSTEM SHALL BE COVERED WITH 2" THICK, MINIMUM 3 POUNDS PER CUBIC FOOT DENSITY SEMI-RIGID INSULATION WITH FACTORY APPLIED REINFORCED FOIL FACED KRAFT VAPOR BARRIER GLASS FIBER BOARD "SYSTEM" TYPE INSULATION. INSULATION BOARD SHALL HAVE A MINIMUM R-VALUE OF 8. PRODUCT TO BE MANUFACTURED BY MANVILLE OR EQUIVALENT BY CERTINTEED, KNOFF, OR OWENS CORNING. PROVIDE 0.016" THICK ALUMINUM OUTER JACKET WITH ALL JOINTS SEALED WATER TIGHT. TAPER ALUMINUM JACKET AN INCH OR PROVIDE POSITIVE DRAINAGE AND PREVENT WATER PONDING.

MATCH EXISTING DUCTWORK MATERIAL AND FINISH WHERE APPROVED BY THE OWNER AND AUTHORITY HAVING JURISDICTION.

EXHAUST DUCTWORK SHALL NOT BE INSULATED.

REPAIR ANY EXISTING INSULATION DAMAGED BY THE NEW WORK. ALL INSULATION COVERING SHALL BE DONE BY MECHANICS SPECIALLY TRAINED IN THIS CLASS OF WORK AS EMPLOYED BY A RECOGNIZED INSULATION CONTRACTOR. WHERE EXISTING DUCTS CONTAIN INTERNAL ACOUSTIC LINER, THE CONTRACTOR SHALL OVERLAP THE EXTERNAL INSULATION A MINIMUM OF 3-FT AND SECURE AIRTIGHT OR PROVIDE INDUSTRY APPROVED TRANSITION WHERE MORE STRINGENT.

PIPING & PIPE TESTING

PIPING MATERIALS NOT SPECIFICALLY NOTED WITHIN THIS SPECIFICATION SHALL MATCH THE MATERIAL CURRENTLY UTILIZED AT THE FACILITY AND/OR A COMPLIANT MATERIAL WITHIN THE CURRENT NC MECHANICAL AND PLUMBING CODES.

COOLING COIL CONDENSATE DRAINS - PIPE SHALL BE SCHEDULE 40 CPVC (FOR FIRE RETARDANT) WITH MATCHING FITTINGS SOLVENT WELDED.

ALL MODIFIED SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL CODES, WHERE APPLICABLE, THE MANUFACTURER'S INSTALLATION REQUIREMENTS.

ALL LEAKS SHALL BE REPAIRED BY DISMANTLING AND REBUILDING OR AS OTHERWISE DIRECTED. NO TEST PRESSURES SHALL BE APPLIED TO ANY DEVICE OR SPECIALTY NOT DESIGNED FOR SUCH PRESSURES. TESTS SHALL BE RUN BEFORE PIPING IS INSULATED OR CONCEALED.

BALL VALVES - UP TO 2". BRONZE TWO PIECE BODY, STAINLESS STEEL BALL, TEFLON SEATS AND BLOW-OUT PROOF STUFFING BOX RING, LEVER HANDLE, AND BALANCING STOPS, UNION SOLDER ENDS. ACCEPTABLE MANUFACTURERS: CONBRACO (APOLLO), WATTS, INC., CRANE, INC., OR STOCKHAM, INC.

BUTTERFLY VALVES - BUTTERFLY VALVES SHALL BE DEZURIK 660 OR EQUAL WITH SEMI-STEEL LUG STYLE BODY, BRONZE DISC, #16 STAINLESS STEEL SHAFT, BRONZE BEARINGS, "NORDEL" RUBBER SEAT, LEVER HANDLE OPERATORS AND SHALL BE RATED AT 175 POUNDS CWP. VALVES SHALL PROVIDE DEAD-TIGHT SHUTOFF CAPABILITY IN EITHER DIRECTION UP TO 150 PSI WHEN THE DOWNSTREAM FLANGES ARE REMOVED.

AIR DISTRIBUTION

SHEETMETAL DUCTWORK - ALL NEW DUCTWORK SHOWN ON THE DRAWING SHALL BE CONSTRUCTED OF GALVANIZED STEEL (UNLESS OTHERWISE INDICATED). ALL DUCTWORK SHALL BE CONSIDERED "LOW PRESSURE" TYPE. VARIABLE AIR VOLUME SYSTEMS SHALL BE CONSIDERED "MEDIUM PRESSURE" TYPE. SUPPLY AND RETURN DUCTWORK ON ROOF AND EXPOSED TO AMBIENT SHALL BE CONSTRUCTED OF MINIMUM G-90 GALVANIZED CONSTRUCTION.

DETAILS OF DUCT CONSTRUCTION SHALL BE IN ACCORD WITH THE MANUAL PUBLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA), AND ALL DUCT SYSTEMS SHALL MEET NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.

ALL ROUND DUCTWORK (GALVANIZED) SHALL BE SPIRAL SEAM TYPE AND FITTINGS SHALL BE "LOW-LOSS" FACTORY WELDED SEAM TYPE (INCLUDING CONICAL AND 45° BRANCH TAKEOFFS) AS MANUFACTURED BY UNITED SHEET METAL OR EQUAL. DUCT SHALL BE INSULATED WITH TWO INCH FIBERGLASS DUCT WRAP.

PROVIDE MANUAL VOLUME DAMPERS WHERE SHOWN OR REQUIRED. THE CONTRACTOR SHALL ENSURE ANY DAMPER REQUIRED FOR REMOVAL WHICH IS PART OF A SYSTEM BEING RE-INSTALLED SHALL BE REPLACED WITH A NEW EQUIVALENT DAMPER.

ALL SEAMS AND JOINTS SHALL BE SEALED AIRTIGHT (SEAL CLASS A) USING APPROPRIATE DUCT SEALANT AS MANUFACTURED BY UNITED SHEET METAL PROPERLY APPLIED.

WHERE DUCTS OF SIZE SHOWN CANNOT BE INSTALLED, DIMENSIONS MAY BE ALTERED TO AN EQUIVALENT SIZE AS APPROVED BY THE ENGINEER.

ROOF MOUNTED EQUIPMENT ADAPTER CURBS - PROVIDE AN ADAPTER CURB TO FIT OVER THE EXISTING ROOF-TOP A/C UNIT CURB TO ALLOW THE REPLACEMENT UNIT TO FIT ON THE EXISTING CURB WITHOUT ANY MODIFICATIONS TO THE EXISTING CURB OR ROOF. PRE-FABRICATED CURBS SHALL BE GALVANIZED STEEL, 18 OR 14 GAUGE AS REQUIRED, WELDED CORNERS, AIR AND WATER TIGHT. ADAPTERS SHALL BE INTERNALLY REINFORCED WITH "T" BARS, 3/8 INCHES ON CENTER AND NECESSARY BLOCK-OFFS TO ALLOW USE OF EXISTING DUCTWORK. CURB INSULATION SHALL MEET CURRENT LOCAL AND STATE REGULATIONS.

ADAPTERS SHALL INCLUDE ALL DUCT TRANSITIONS REQUIRED TO CONNECT THE ROOF-TOP UNIT TO EXISTING DUCTS WITHOUT FIELD MODIFICATIONS. PROVIDE ROUTING FOR ELECTRIC SERVICE. ADAPTERS SHALL BE FULLY GASKETED AROUND THE PERIMETER. ACTUAL JOB-SITE DIMENSIONS SHALL BE TAKEN BY THE CONTRACTOR AND GIVEN TO THE CURB SUPPLIER.

ROOF CURBS - PROVIDE PREFABRICATED ROOF CURBS FOR ALL ROOF OPENINGS REQUIRED FOR PIPING AND DUCTWORK. CURBS SHALL BE OF BOX SECTION DESIGN MADE OF GALVANIZED 18 GA. STEEL WITH WELDING FLANGE, CONTINUOUS WELD CORNER SEAMS, FACTORY INSTALLED WOOD NAILER. CURB SHALL BE INSULATED WITH 1-1/2", 3 POUND DENSITY RIGID FIBERGLASS BOARD.

PROVIDE RAISED CANT, HEIGHT TO BE DETERMINED IN THE FIELD BY THE FINAL THICKNESS OF THE ROOF INSULATION AT THE CURB.

PROJECT CLOSEOUT

AIR BALANCE - UPON VERIFICATION THAT SYSTEMS ARE COMPLETE AND OPERABLE, THE TESTING, ADJUSTING, AND BALANCING CONTRACTOR SHALL COMMENCE THEIR SCOPE OF WORK FOR RE-INSTALLED HVAC SYSTEMS. REFER TO DRAWINGS FOR EQUIPMENT LOCATIONS. ALL RE-INSTALLED HVAC SYSTEMS SHALL BE ADJUSTED TO MEET AND/OR EXCEED PRE-CONSTRUCTION AIRFLOW LEVELS WITHOUT UNDUE NOISE OR OBJECTIONABLE AIR MOTION. REFERENCE "TEST AND BALANCE NOTES" ON THIS SHEET FOR PRE-CONSTRUCTION REQUIREMENTS. THE WORK SHALL BE DONE BY PERSONNEL SPECIALLY TRAINED IN THIS TYPE OF WORK. PROVIDE WRITTEN AIR BALANCE REPORT WITH SCHEMATIC OF TEST LOCATIONS BASED ON FIELD MEASUREMENTS.

THE SUPPLY, RETURN AND EXHAUST DUCT VOLUME DAMPERS, THE AIR TERMINAL VOLUME CONTROLS, AND THE EXHAUST FANS SHALL BE ADJUSTED TO OBTAIN THE AIR VOLUMES INDICATED ON THE DRAWING WITHOUT UNDUE NOISE OR OBJECTIONABLE AIR MOTION.

WATER BALANCE - THE BALANCING VALVES AT HYDRONIC COILS, ETC. SHALL BE SET TO PRE-CONSTRUCTION FLOW RATES. ALL TESTING AND BALANCING SHALL BE PER ASHRAE TAB PROCEDURES.

PERMANENT IDENTIFICATION OF APPARATUS - ALL EXPOSED OR ACCESSIBLE PIPE, COVERED OR UNCOVERED SHALL BE MARKED WITH THE NAME OF THE SERVICE IN ABBREVIATED FORM (USE SYMBOLS ON DRAWINGS) AND AN ARROW INDICATING DIRECTION OF FLOW OR AS MATCHING THE OWNER'S CURRENT DESIGNATIONS/NOTATIONS. WHERE MORE THAN ONE PRESSURE IS USED, THE MARKINGS MUST ALSO INDICATE THE PRESSURE. MARKINGS SHALL BE PLAIN BLOCK LETTERS, STENCIL OR DECAL, CONTRASTING COLOR TO PIPE OR DUCT FINISH AND OF SIZE IN PROPORTION TO THE PIPE SIZE. THEY SHALL BE EASILY LEGIBLE FROM THE FLOOR AND SHALL BE LOCATED NEAR EACH PIPE BRANCH CONNECTION, VALVE AND AT REGULAR INTERVALS NOT TO EXCEED 50 FEET.

OPERATING MANUALS - THIS CONTRACTOR SHALL DELIVER TO THE OWNER AN OPERATING MANUAL IN ACCORDANCE WITH DIVISION 01 SPECIFICATIONS WHICH SHALL CONSIST OF APPROVED SHOP DRAWINGS. THIS MANUAL SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR VERIFICATION OF COMPLETENESS BEFORE DELIVERY.

CLEANUP - ALL TOOLS, AND OTHER WORKMEN'S MATERIALS AND APPLIANCES SHALL BE REMOVED FROM THE PREMISES AFTER FORMAL AND FINAL APPROVAL OF COMPLETION IS GIVEN. THE PREMISES SHALL BE CLEANED OF ALL REMAINING DEBRIS.

PAINTING - ALL OUTDOOR METAL SURFACES FURNISHED UNDER THIS CONTRACT SHALL BE PAINTED AT THE JOB SITE WITH TWO COATS OF METAL PAINT APPLIED BY THE MECHANICAL CONTRACTOR. FIRST COAT SHALL BE RUST-RESISTANT RED PRIMER. FINISH COAT SHALL BE OF COLOR APPROVED BY THE OWNER. DO NOT PAINT GALVANIZED STEEL, COPPER OR FACTORY ENAMELED SURFACES.

OWNER INSTRUCTION - AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL INSTRUCT THE OWNER'S PERSONNEL IN THE USE OF THE EQUIPMENT AND CONTROLS.

AS-BUILTS - DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A SEPARATE SET OF BLACK LINE REPRODUCIBLE MECHANICAL DRAWINGS ON WHICH THEY SHALL RECORD THE EXACT LOCATION OF ALL EQUIPMENT WHICH IS NOT INSTALLED AS SHOWN OR OTHER APPLICABLE, APPROVED DEVIATIONS. THESE "AS BUILT" DRAWINGS SHALL BE DELIVERED TO THE ARCHITECT/ENGINEER AT THE END OF THE JOB.

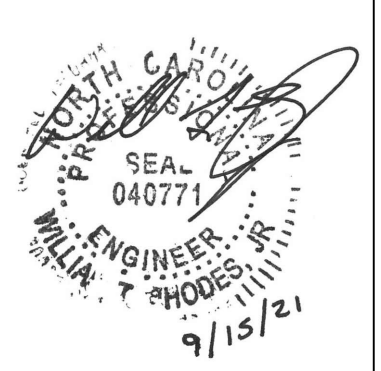


ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM



1100 South Blvd
Raleigh, North Carolina 27603
Phone: (828) 252-9181 | Fax: (828) 252-8667
NC License # 13222
www.mkimcreed.com



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

GENERAL NOTES, LEGEND, AND GUIDE SPECIFICATION

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

REVISIONS:

No.	Description	Date

DRAWN BY: DAC

CHECKED BY: -

DATE: JUNE 28, 2021

NOVUS JOB NUMBER

2015-3113.07

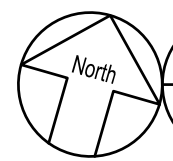
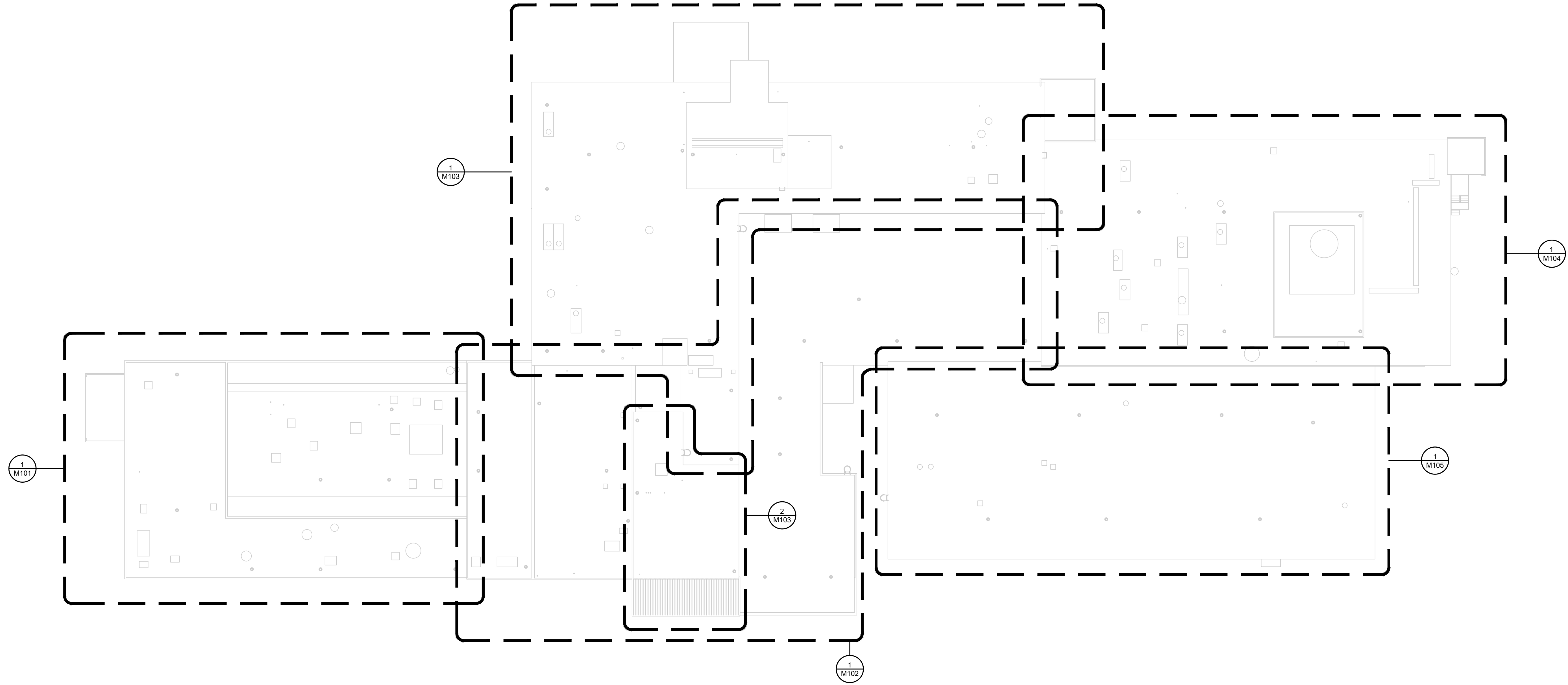
SHEET NUMBER

M001

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR, OWNER, LEASEE(S), AND DESIGN TEAM SHALL COORDINATE A WALKTHROUGH OF EACH SPACE AND ROOFTOP TO VERIFY THE EQUIPMENT REMOVAL.
2. GENERAL EQUIPMENT SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL CONFIRM THE SIZE AND LOCATION OF THE EQUIPMENT PRIOR TO COMMENCEMENT OF WORK.



1
M100

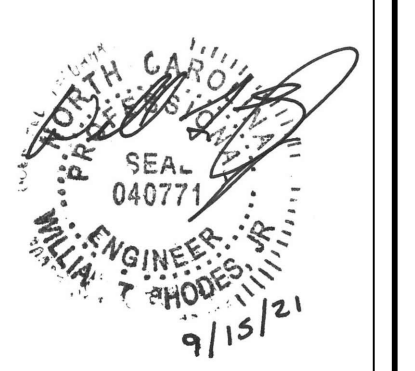
MECHANICAL OVERALL ROOF PLAN

Scale: NTS

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

1100 South College
Asheville, North Carolina 28803
Phone: (828) 252-9181 Fax: (828) 252-8857
www.mkimcreed.com



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

OVERALL TCC ROOF PLAN

REVISIONS:

No.	Description	Date

DRAWN BY: DAC
CHECKED BY: -
DATE: JUNE 28, 2021

NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
M100

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

GENERAL SHEET NOTES

- PRIOR TO CONSTRUCTION, THE CONTRACTOR, OWNER, LEASEE(S), AND DESIGN TEAM SHALL COORDINATE A WALKTHROUGH OF EACH SPACE AND ROOFTOP TO VERIFY THE EQUIPMENT REMOVAL.
- ALL EQUIPMENT REMOVED AND NOT REINSTALLED AS PART OF THIS PROJECT SHALL HAVE ITS ELECTRICAL TERMINATED IN A JUNCTION BOX BELOW THE ROOF AND/OR ASSOCIATED GRADE LEVEL IN A CLEAN, ELECTRICALLY SAFE MANNER PER NEC REQUIREMENTS. COORDINATE EXTENT OF WIRING REMOVAL WITH THE OWNER AND ENSURE THE JUNCTION BOX IS FULLY ACCESSIBLE. LABEL THE JUNCTION BOX TO IDENTIFY IT IS A SPARE AND PROVIDE THE ASSOCIATED PANEL AND CIRCUIT DESIGNATION(S). THE PANELBOARD AND PANEL SCHEDULE SHALL BE UPDATED TO IDENTIFY THE ASSOCIATED CIRCUITS ARE SPARE TERMINATING WITHIN A JUNCTION BOX.
- GENERAL EQUIPMENT SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL CONFIRM THE SIZE AND LOCATION OF THE EQUIPMENT PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL PIPING AND ACCESSORIES INDICATED AS BEING REMOVED SHALL NOT BE DETRIMENTAL TO THE OPERATION AND FUNCTIONALITY OF SYSTEMS AND SERVICES TO REMAIN IN OPERATION UPON THE COMPLETION OF CONSTRUCTION.
- ANY REQUIRED SYSTEM AND/OR EQUIPMENT SHUTDOWNS REQUIRED TO COMPLETE THE SCOPE OF WORK SHALL BE COORDINATED WITH THE OWNER AND LEASEE(S) NO LESS THAN 10 WORKING DAYS PRIOR.
- ALL UNUSED PIPING PORTALS, ELECTRICAL DEVICES, SLEEVES, ETC. NO LONGER UTILIZED OR SERVICING EQUIPMENT SHALL BE REMOVED COMPLETE.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY CURBING AND SUPPORT REQUIREMENTS WITH THE ROOFING CONTRACTOR TO ENSURE THE FLASHED CURBING ELEVATES THE EQUIPMENT NO LESS THAN 8-INCHES ABOVE THE FINISHED ROOFING SYSTEM AND AT A FINISHED ELEVATION ABOVE THE FINISHED ROOF MATCHING THAT OF THE PRE-CONSTRUCTION CONDITION. THE CONTRACTOR SHALL DOCUMENT PRE-CONSTRUCTION FINISHED ELEVATIONS FOR ALL EQUIPMENT DESIGNATE FOR REINSTALLATION PRIOR TO COMMENCEMENT OF WORK.
- ANY PARAPET MOUNTED, EQUIPMENT MOUNTED, AND/OR FRAME MOUNTED CONVENIENCE OUTLETS, NOT SPECIFICALLY IDENTIFIED ON THIS PLAN, WHICH ARE REQUIRED TO BE REMOVED AS PART OF THIS PROJECT SHALL BE RE-INSTALLED IN THE SAME PROXIMITY AS THE REMOVED DEVICE AND INSTALLED WITHIN A WEATHERPROOF ENCLOSURE.

PLAN KEYED NOTES

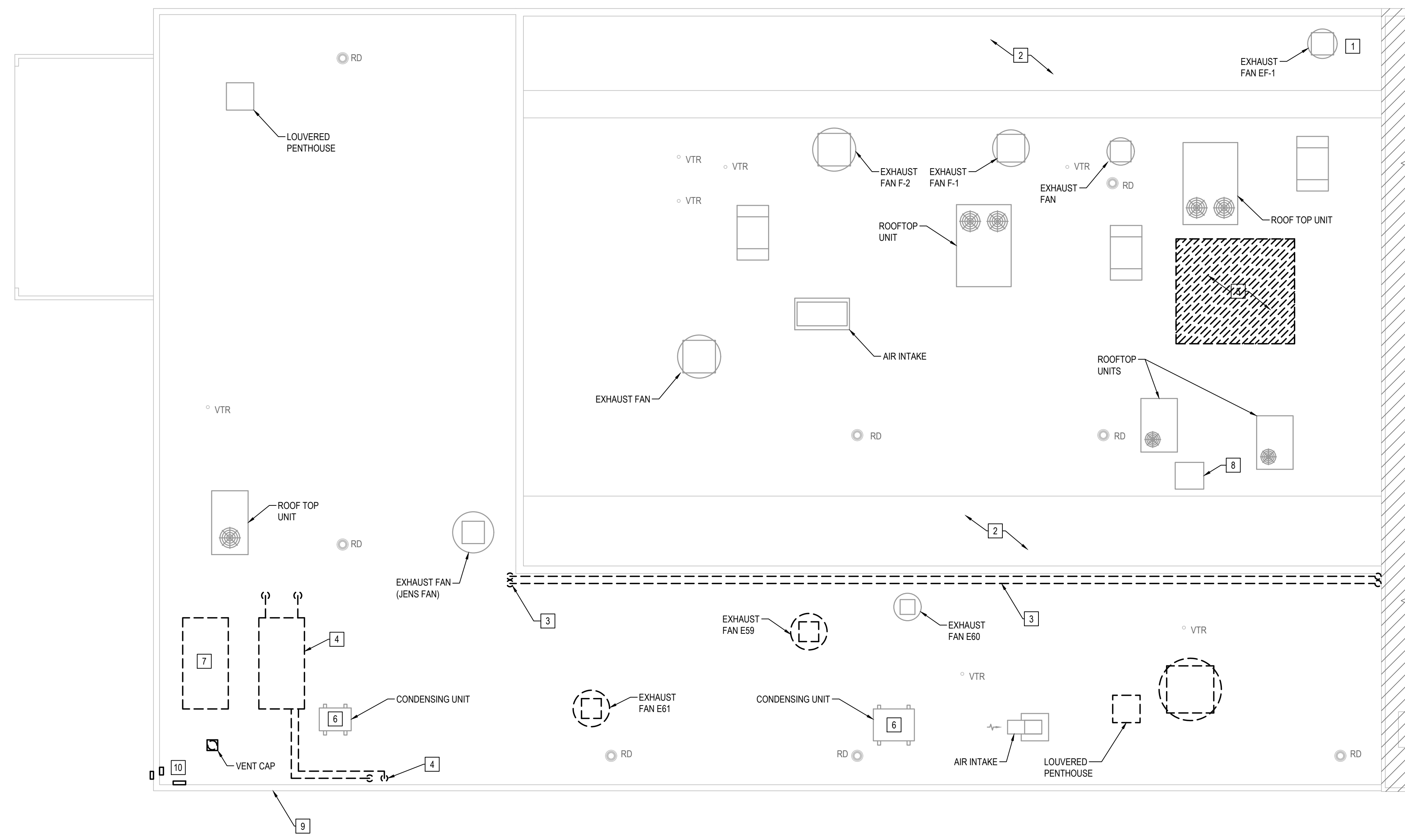
- INDICATES EXISTING EXHAUST FAN TO BE REMOVED AND SALVED FOR RE-INSTALLATION ON ROOF. PROVIDE WITH NEW ROOF CURB SIZED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS.
- INDICATES EXISTING DUCTWORK FLASHED INTO EXISTING ROOFING SYSTEM. DUCTWORK SHALL BE REMOVED COMPLETE WITH WALL REPAIRED TO MATCH CONSTRUCTION AND FINISH.
- INDICATES EXISTING CHILLED WATER PIPING TO BE REMOVED. CAP AND SEAL PIPING BELOW ROOF. REFERENCE SHEET M102 FOR CONTINUATION OF PIPING AND EXTENT OF PIPING REMOVAL.
- INDICATES EXISTING SOLAR PANEL AND HYDRONIC PIPING DESIGNATED FOR REMOVAL. PANEL AND SUPPORTS TO BE REMOVED COMPLETE. CAP AND SEAL HYDRONIC PIPING BELOW ROOF.
- INDICATES EXISTING STRUCTURE TO BE REMOVED COMPLETE. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS. THE CONTRACTOR SHALL REMOVE ALL LIGHTING, DUCTWORK, ETC. COMPLETE WITHIN THE SPACE, TERMINATING AND SEALING BELOW THE FINISHED ROOF LEVEL. COORDINATE SCOPING WITH OTHER TRADES PRIOR TO REMOVAL.
- EXISTING CONDENSING UNITS SUPPORTED WITH WOOD RUNNERS, RUNNERS TO BE REMOVED AND EQUIPMENT TO BE SUPPORTED WITH NEW EQUIPMENT RAILS FLASHED WITHIN ROOFING SYSTEM. COORDINATE WITH ROOFING CONTRACTOR AS REQUIRED.
- INDICATES EXISTING EQUIPMENT SUPPORT CAPPED WITH SHEETMETAL. SHEET METAL TO BE REMOVED AND OPENING TO BE FLASHED AS PART OF ROOFING SYSTEM.
- VERIFY FUNCTIONALITY OF EXISTING ELECTRICAL DEVICE. REMOVE FLASHED CURBING AS PART OF PROJECT.
- INDICATES EXISTING PARAPET DESIGNATED FOR REMOVAL. REFERENCE ARCHITECTURAL DRAWINGS AND SEE GENERAL NOTE 12 ON SHEET M001 FOR COORDINATION AND EXTENT OF REMOVAL.
- EXISTING CAMERA, OUTLET, CONTROLLER(S) AND OTHER ELECTRICAL DEVICES INSTALLED ON PARAPET DESIGNATED FOR REMOVAL TO BE REMOVED AND RE-INSTALLED IN AN OWNER APPROVED LOCATION. PROVIDE SUPPORTS AS REQUIRED.

LEGEND

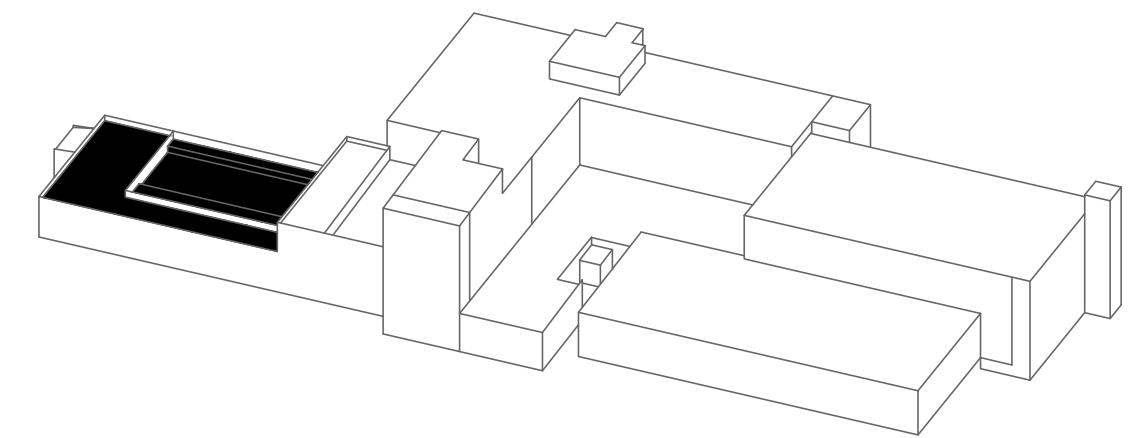
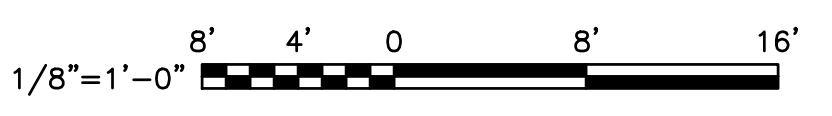
INDICATES EXISTING EQUIPMENT DESIGNATE TO REMAIN IN SAME LOCATION UPON THE COMPLETION OF THE NEW ROOFING SYSTEM. EQUIPMENT SHALL BE TEMPORARILY REMOVED/LIFTED FOR ROOFING REPLACEMENT. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

INDICATES EXISTING EQUIPMENT DESIGNATED FOR COMPLETE REMOVAL. EXISTING CURBING TO REMAIN. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

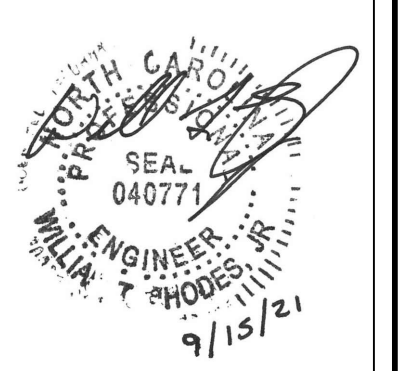
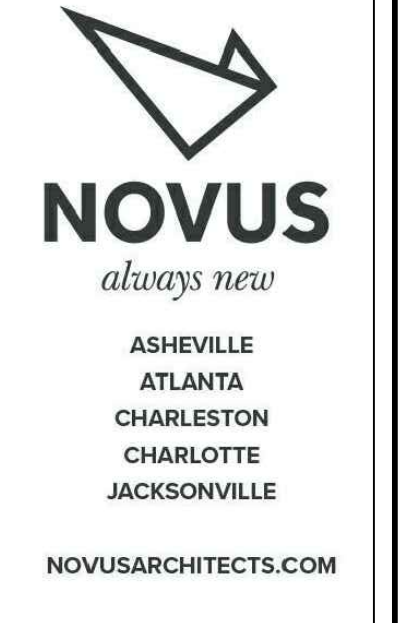
INDICATES EXISTING EQUIPMENT, STRUCTURE, ETC. TO BE REMOVED COMPLETE. CURBING TO BE REMOVED, ROOF OPENING(S) TO BE ENCLOSED AND/OR PATCHED. REFERENCE ARCHITECTURAL DRAWINGS.



MECHANICAL AREA "A" ROOF PLAN
 Scale: 1/8" = 1'-0"



KEYPLAN - AREA 'A'



TCC BUILDING
 ROOF REPLACEMENT
 ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
 CANDLER, NORTH CAROLINA
 MECHANICAL ROOF PLAN - AREA 'A'

REVISIONS:

No.	Description	Date

DRAWN BY: DAC
 CHECKED BY: JMR
 DATE: JUNE 28, 2021
 NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
M101

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

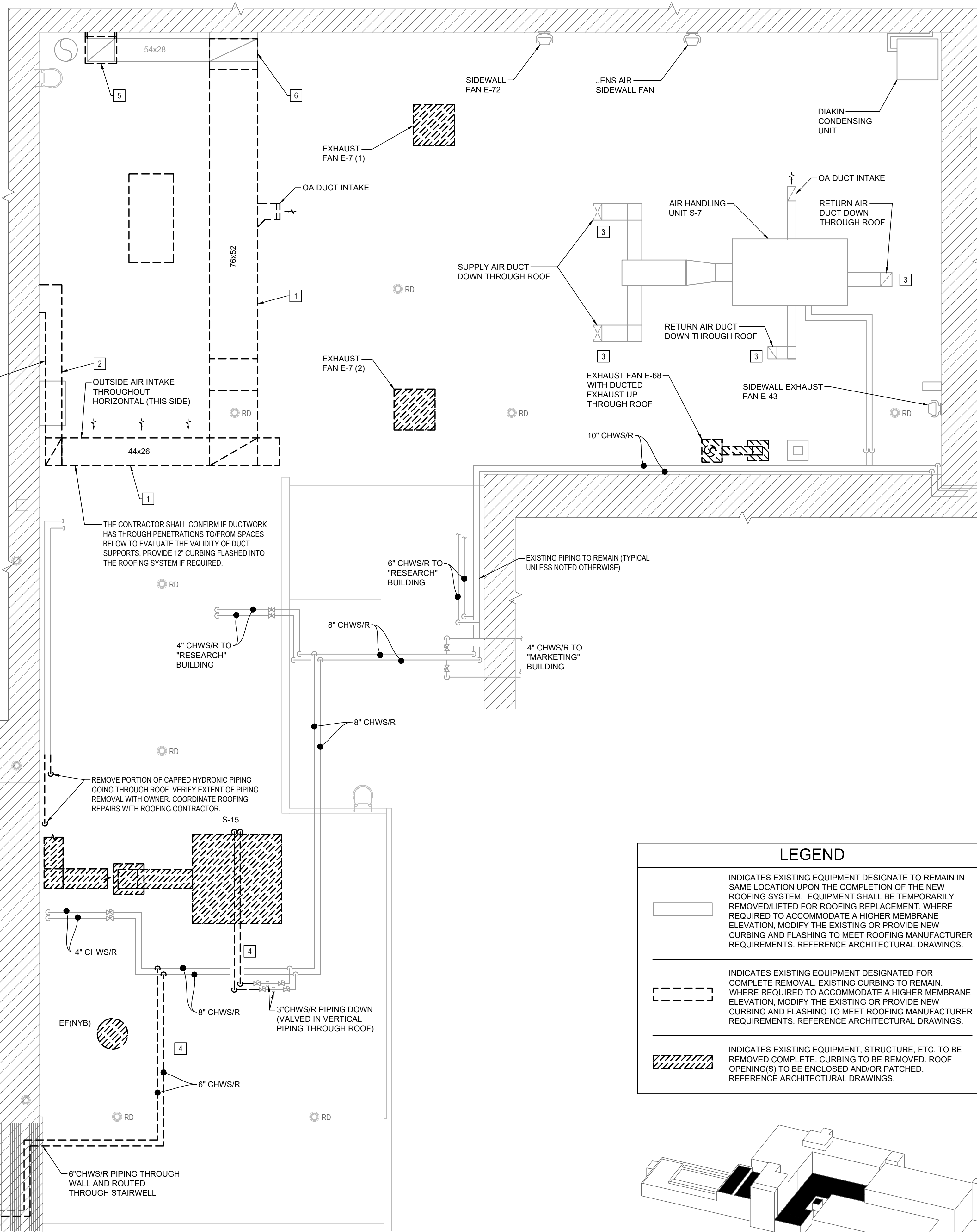
GENERAL SHEET NOTES

- PRIOR TO CONSTRUCTION, THE CONTRACTOR, OWNER, LEASEE(S), AND DESIGN TEAM SHALL COORDINATE A WALKTHROUGH OF EACH SPACE AND ROOFTOP TO VERIFY THE EQUIPMENT REMOVAL.
- ALL EQUIPMENT REMOVED AND NOT REINSTALLED AS PART OF THIS PROJECT SHALL HAVE ITS ELECTRICAL TERMINATED IN A JUNCTION BOX BELOW THE ROOF AND/OR ASSOCIATED GRADE LEVEL IN A CLEAN, ELECTRICALLY SAFE MANNER PER NEC REQUIREMENTS. COORDINATE EXTENT OF WIRING REMOVAL WITH THE OWNER AND ENSURE THE JUNCTION BOX IS FULLY ACCESSIBLE. LABEL THE JUNCTION BOX TO IDENTIFY IT IS A SPARE AND PROVIDE THE ASSOCIATED PANEL AND CIRCUIT DESIGNATION(S). THE PANELBOARD AND PANEL SCHEDULE SHALL BE UPDATED TO IDENTIFY THE ASSOCIATED CIRCUITS ARE SPARE TERMINATING WITHIN A JUNCTION BOX.
- GENERAL EQUIPMENT SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL CONFIRM THE SIZE AND LOCATION OF THE EQUIPMENT PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL PIPING AND ACCESSORIES INDICATED AS BEING REMOVED SHALL NOT BE DETRIMENTAL TO THE OPERATION AND FUNCTIONALITY OF SYSTEMS AND SERVICES TO REMAIN IN OPERATION UPON THE COMPLETION OF CONSTRUCTION.
- ANY REQUIRED SYSTEM AND/OR EQUIPMENT SHUTDOWNS REQUIRED TO COMPLETE THE SCOPE OF WORK SHALL BE COORDINATED WITH THE OWNER AND LEASEE(S) NO LESS THAN 10 WORKING DAYS PRIOR.
- ALL UNUSED PIPING PORTALS, ELECTRICAL DEVICES, SLEEVES, ETC. NO LONGER UTILIZED OR SERVICING EQUIPMENT SHALL BE REMOVED COMPLETE.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY CURBING AND SUPPORT REQUIREMENTS WITH THE ROOFING CONTRACTOR TO ENSURE THE FLASHED CURBING ELEVATES THE EQUIPMENT NO LESS THAN 8-INCHES ABOVE THE FINISHED ROOFING SYSTEM OR AT AN EQUIPMENT ELEVATION REQUIRED BY CURRENT AHJ REQUIREMENTS (WHERE MORE STRINGENT). THE CONTRACTOR SHALL DOCUMENT PRE-CONSTRUCTION FINISHED ELEVATIONS FOR ALL EQUIPMENT DESIGNATE FOR REINSTALLATION PRIOR TO COMMENCEMENT OF WORK.
- STEAM SUPPLY AND CONDENSATE RETURN PIPING THROUGH/ON THE ROOFING NOT SPECIFICALLY SHOWN SHALL REMAIN.
- ANY PARAPET MOUNTED, EQUIPMENT MOUNTED, AND/OR FRAME MOUNTED CONVENIENCE OUTLETS, NOT SPECIFICALLY IDENTIFIED ON THIS PLAN, WHICH ARE REQUIRED TO BE REMOVED AS PART OF THIS PROJECT SHALL BE RE-INSTALLED IN THE SAME PROXIMITY AS THE REMOVED DEVICE AND INSTALLED WITHIN A WEATHERPROOF ENCLOSURE.

PLAN KEYED NOTES

- INDICATES EXISTING RETURN AIR DUCTWORK WITH DAMPERED OUTSIDE AIR INTAKE TO BE REMOVED AND REPLACED WITH NEW UPON THE COMPLETION OF THE ROOFING SYSTEM. DUCTWORK SHALL BE SUPPORTED WITH NON-PENETRATING ROOFING SUPPORTS BY PHP (ROOFSTUFF) WITH HIGH IMPACT POLYPROPYLENE BASED WITH UV-INHIBITORS. THE CONTRACTOR SHALL RE-BALANCE AIRFLOW TO PRE-TAB CONDITIONS. REFERENCE SHEET M001 FOR PRE- AND POST-TAB CLARIFICATION. OUTSIDE AIR INTAKES SHALL BE NO LESS THAN 12" ABOVE THE FINISHED ROOFING ELEVATION PER ASHRAE 62.1.
- EXISTING RETURN AIR DUCTWORK BELOW TRANSFORMERS (NOT SHOWN FOR CLARITY) TO BE REMOVED COMPLETE. PATCH REPAIR WALL AT OPENING TO MATCH CONSTRUCTION AND FINISH.
- INDICATES EXISTING SUPPLY, RETURN, AND OUTSIDE AIR DUCTWORK ON ROOF DESIGNATED TO REMAIN AS PART OF UNIT. COORDINATE FLASHING OF DUCTWORK PENETRATIONS WITH ROOFING CONTRACTOR AS REQUIRED.
- CHILLED WATER RETURN AND SUPPLY PIPING REMOVED BACK TO LIMIT OF DEMOLITION AS SHOWN. PROVIDE LINE SIZED ISOLATION VALVE, CAP AND SEAL PIPING WATER TIGHT FOR POTENTIAL FUTURE USE.
- INDICATES RETURN AIR DUCT THROUGH ROOF AND THROUGH WALL. REMOVE THROUGH WALL PENETRATION AND SMOKE DETECTOR (VERIFY LOCATION IN FIELD) AND DUCTWORK THROUGH ROOF TO ACCOMMODATE NEW ROOFING SYSTEM AND SLOPING. COORDINATE HEIGHT REQUIREMENT WITH ARCHITECTURAL DRAWINGS AND ROOFING CONTRACTORS. COORDINATE SCOPING OF EXTERIOR WALL REPAIRS WITH ARCHITECTURAL DRAWINGS. INSTALL DUCT MOUNTED SMOKE DETECTOR WITH ACCESS DOOR AT NEW WALL PENETRATION. RECONNECT DUCTWORK TO SYSTEM DUCTWORK DESIGNATED TO REMAIN.
- INDICATES RETURN AIR DUCTWORK TRANSITION UP EXTERIOR WALL. REMOVE ELBOW FITTING AND PORTION OF DUCTWORK AS REQUIRED TO ACCOMMODATE NEW ROOFING SYSTEM AND SLOPING. REPLACE DUCTWORK AND CONNECT INTO SYSTEM DUCTWORK DESIGNATED TO REMAIN.

SIDEWALL FAN, TRANSFORMERS, AND OTHER TRADE EQUIPMENT NOT SPECIFICALLY SHOWN ALONG EXTERIOR WALL. SEE GENERAL SHEET NOTE 5 FOR WORK WITHIN PROXIMITY OF TRANSFORMERS.

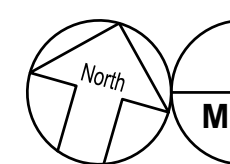
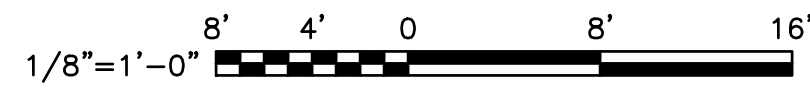


LEGEND

INDICATES EXISTING EQUIPMENT DESIGNATED TO REMAIN IN SAME LOCATION UPON THE COMPLETION OF THE NEW ROOFING SYSTEM. EQUIPMENT SHALL BE TEMPORARILY REMOVED/LIFTED FOR ROOFING REPLACEMENT. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

INDICATES EXISTING EQUIPMENT DESIGNATED FOR COMPLETE REMOVAL. EXISTING CURBING TO REMAIN. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

INDICATES EXISTING EQUIPMENT, STRUCTURE, ETC. TO BE REMOVED COMPLETE. CURBING TO BE REMOVED. ROOF OPENING(S) TO BE ENCLOSED AND/OR PATCHED. REFERENCE ARCHITECTURAL DRAWINGS.



MECHANICAL AREA 'B' ROOF PLAN

Scale: 1/8" = 1'-0"

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

1100 South Blvd
Asheville, North Carolina 28803
Phone: (828) 252-9181 Fax: (828) 252-8857
www.mkimcreed.com

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

MECHANICAL ROOF PLAN - AREA 'B'

REVISIONS:

No.	Description	Date

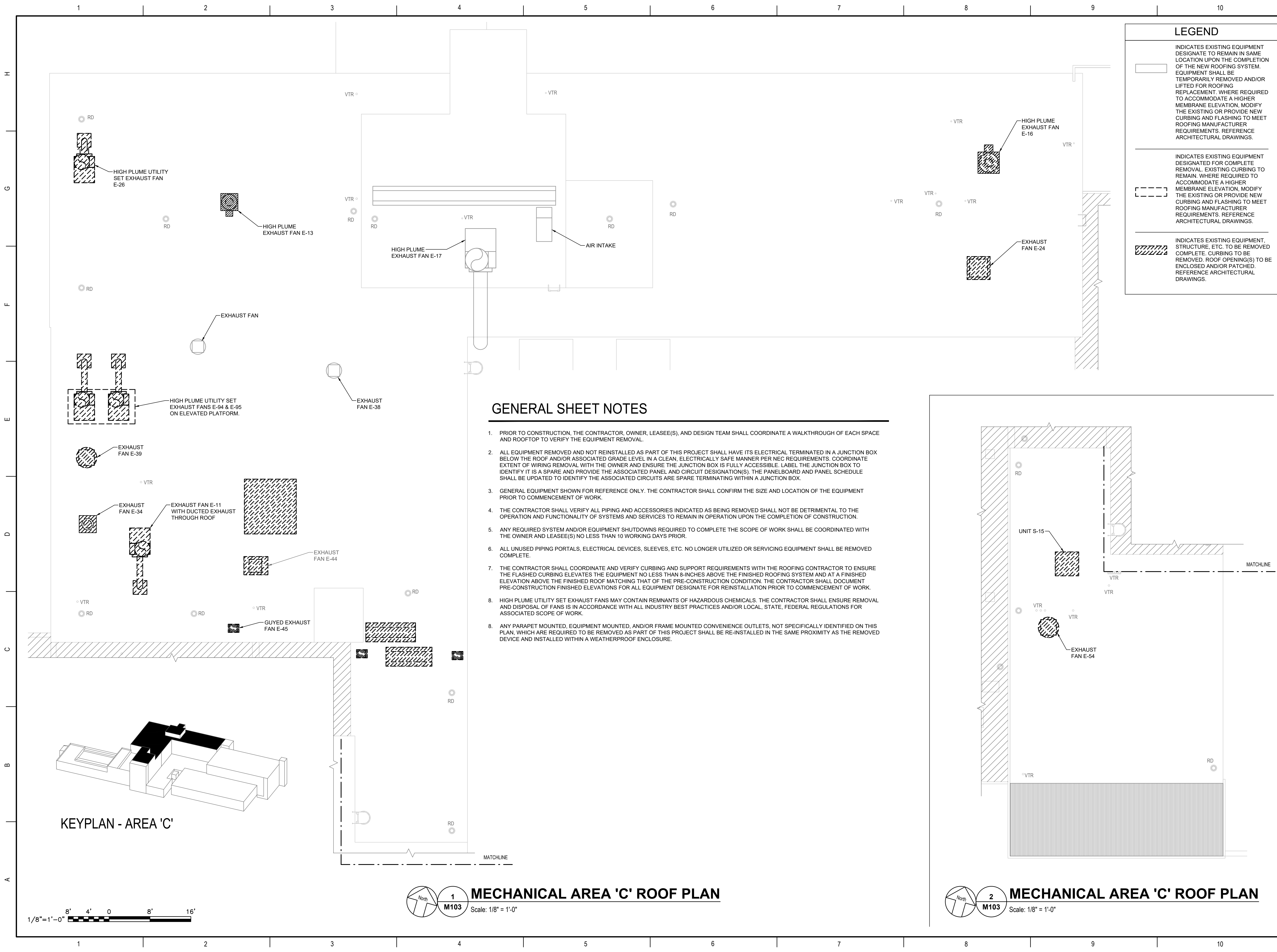
DRAWN BY: DAC
CHECKED BY: JMR
DATE: JUNE 28, 2021

NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
M102

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



LEGEND

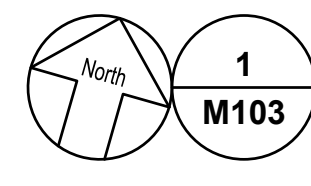
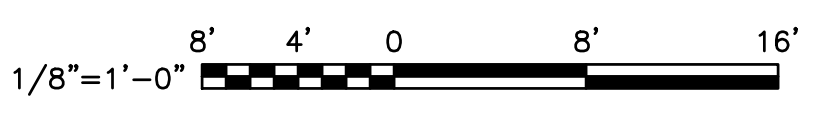
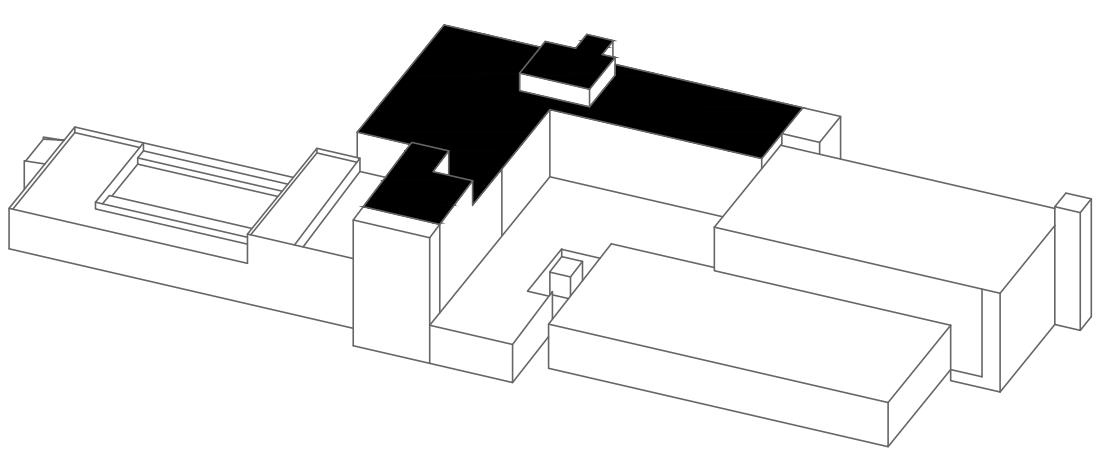
INDICATES EXISTING EQUIPMENT DESIGNATE TO REMAIN IN SAME LOCATION UPON THE COMPLETION OF THE NEW ROOFING SYSTEM. EQUIPMENT SHALL BE TEMPORARILY REMOVED AND/OR LIFTED FOR ROOFING REPLACEMENT. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

INDICATES EXISTING EQUIPMENT DESIGNATED FOR COMPLETE REMOVAL. EXISTING CURBING TO REMAIN. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

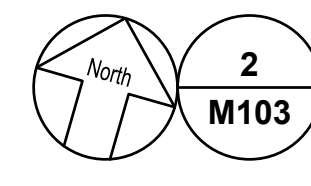
INDICATES EXISTING EQUIPMENT, STRUCTURE, ETC. TO BE REMOVED COMPLETE. CURBING TO BE REMOVED. ROOF OPENING(S) TO BE ENCLOSED AND/OR PATCHED. REFERENCE ARCHITECTURAL DRAWINGS.

GENERAL SHEET NOTES

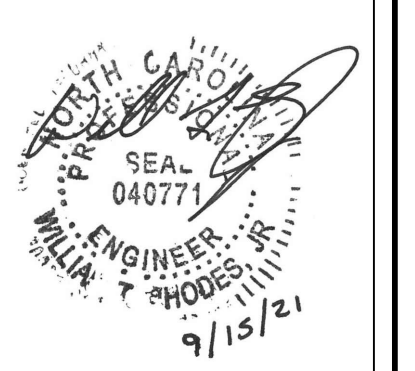
- PRIOR TO CONSTRUCTION, THE CONTRACTOR, OWNER, LEASEE(S), AND DESIGN TEAM SHALL COORDINATE A WALKTHROUGH OF EACH SPACE AND ROOFTOP TO VERIFY THE EQUIPMENT REMOVAL.
- ALL EQUIPMENT REMOVED AND NOT REINSTALLED AS PART OF THIS PROJECT SHALL HAVE ITS ELECTRICAL TERMINATED IN A JUNCTION BOX BELOW THE ROOF AND/OR ASSOCIATED GRADE LEVEL IN A CLEAN, ELECTRICALLY SAFE MANNER PER NEC REQUIREMENTS. COORDINATE EXTENT OF WIRING REMOVAL WITH THE OWNER AND ENSURE THE JUNCTION BOX IS FULLY ACCESSIBLE. LABEL THE JUNCTION BOX TO IDENTIFY IT IS A SPARE AND PROVIDE THE ASSOCIATED PANEL AND CIRCUIT DESIGNATION(S). THE PANELBOARD AND PANEL SCHEDULE SHALL BE UPDATED TO IDENTIFY THE ASSOCIATED CIRCUITS ARE SPARE TERMINATING WITHIN A JUNCTION BOX.
- GENERAL EQUIPMENT SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL CONFIRM THE SIZE AND LOCATION OF THE EQUIPMENT PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL PIPING AND ACCESSORIES INDICATED AS BEING REMOVED SHALL NOT BE DETRIMENTAL TO THE OPERATION AND FUNCTIONALITY OF SYSTEMS AND SERVICES TO REMAIN IN OPERATION UPON THE COMPLETION OF CONSTRUCTION.
- ANY REQUIRED SYSTEM AND/OR EQUIPMENT SHUTDOWNS REQUIRED TO COMPLETE THE SCOPE OF WORK SHALL BE COORDINATED WITH THE OWNER AND LEASEE(S) NO LESS THAN 10 WORKING DAYS PRIOR.
- ALL UNUSED PIPING PORTALS, ELECTRICAL DEVICES, SLEEVES, ETC. NO LONGER UTILIZED OR SERVICING EQUIPMENT SHALL BE REMOVED COMPLETE.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY CURBING AND SUPPORT REQUIREMENTS WITH THE ROOFING CONTRACTOR TO ENSURE THE FLASHED CURBING ELEVATES THE EQUIPMENT NO LESS THAN 8-INCHES ABOVE THE FINISHED ROOFING SYSTEM AND AT A FINISHED ELEVATION ABOVE THE FINISHED ROOF MATCHING THAT OF THE PRE-CONSTRUCTION CONDITION. THE CONTRACTOR SHALL DOCUMENT PRE-CONSTRUCTION FINISHED ELEVATIONS FOR ALL EQUIPMENT DESIGNATE FOR REINSTALLATION PRIOR TO COMMENCEMENT OF WORK.
- HIGH PLUME UTILITY SET EXHAUST FANS MAY CONTAIN REMNANTS OF HAZARDOUS CHEMICALS. THE CONTRACTOR SHALL ENSURE REMOVAL AND DISPOSAL OF FANS IS IN ACCORDANCE WITH ALL INDUSTRY BEST PRACTICES AND/OR LOCAL, STATE, FEDERAL REGULATIONS FOR ASSOCIATED SCOPE OF WORK.
- ANY PARAPET MOUNTED, EQUIPMENT MOUNTED, AND/OR FRAME MOUNTED CONVENIENCE OUTLETS, NOT SPECIFICALLY IDENTIFIED ON THIS PLAN, WHICH ARE REQUIRED TO BE REMOVED AS PART OF THIS PROJECT SHALL BE RE-INSTALLED IN THE SAME PROXIMITY AS THE REMOVED DEVICE AND INSTALLED WITHIN A WEATHERPROOF ENCLOSURE.



MECHANICAL AREA 'C' ROOF PLAN
Scale: 1/8" = 1'-0"



MECHANICAL AREA 'C' ROOF PLAN
Scale: 1/8" = 1'-0"



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA
MECHANICAL ROOF PLAN - AREA 'C'

REVISIONS:

No.	Description	Date

DRAWN BY: DAC
CHECKED BY: JMR
DATE: JUNE 28, 2021

NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
M103

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

GENERAL SHEET NOTES

- PRIOR TO CONSTRUCTION, THE CONTRACTOR, OWNER, LEASEE(S), AND DESIGN TEAM SHALL COORDINATE A WALKTHROUGH OF EACH SPACE AND ROOFTOP TO VERIFY THE EQUIPMENT REMOVAL.
- ALL EQUIPMENT REMOVED AND NOT REINSTALLED AS PART OF THIS PROJECT SHALL HAVE ITS ELECTRICAL TERMINATED IN A JUNCTION BOX BELOW THE ROOF AND/OR ASSOCIATED GRADE LEVEL IN A CLEAN, ELECTRICALLY SAFE MANNER PER NEC REQUIREMENTS. COORDINATE EXTENT OF WIRING REMOVAL WITH THE OWNER AND ENSURE THE JUNCTION BOX IS FULLY ACCESSIBLE. LABEL THE JUNCTION BOX TO IDENTIFY IT IS A SPARE AND PROVIDE THE ASSOCIATED PANEL AND CIRCUIT DESIGNATION(S). THE PANELBOARD AND PANEL SCHEDULE SHALL BE UPDATED TO IDENTIFY THE ASSOCIATED CIRCUITS ARE SPARE TERMINATING WITHIN A JUNCTION BOX.
- GENERAL EQUIPMENT SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL CONFIRM THE SIZE AND LOCATION OF THE EQUIPMENT PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL PIPING AND ACCESSORIES INDICATED AS BEING REMOVED SHALL NOT BE DETRIMENTAL TO THE OPERATION AND FUNCTIONALITY OF SYSTEMS AND SERVICES TO REMAIN IN OPERATION UPON THE COMPLETION OF CONSTRUCTION.
- ANY REQUIRED SYSTEM AND/OR EQUIPMENT SHUTDOWNS REQUIRED TO COMPLETE THE SCOPE OF WORK SHALL BE COORDINATED WITH THE OWNER AND LEASEE(S) NO LESS THAN 10 WORKING DAYS PRIOR.
- ALL UNUSED PIPING PORTALS, ELECTRICAL DEVICES, SLEEVES, ETC. NO LONGER UTILIZED OR SERVICING EQUIPMENT SHALL BE REMOVED COMPLETE.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY CURBING AND SUPPORT REQUIREMENTS WITH THE ROOFING CONTRACTOR TO ENSURE THE FLASHED CURBING ELEVATES THE EQUIPMENT NO LESS THAN 8-INCHES ABOVE THE FINISHED ROOFING SYSTEM AND AT A FINISHED ELEVATION ABOVE THE FINISHED ROOF MATCHING THAT OF THE PRE-CONSTRUCTION CONDITION. THE CONTRACTOR SHALL DOCUMENT PRE-CONSTRUCTION FINISHED ELEVATIONS FOR ALL EQUIPMENT DESIGNATE FOR REINSTALLATION PRIOR TO COMMENCEMENT OF WORK.
- HIGH PLUME UTILITY SET EXHAUST FANS MAY CONTAIN REMNANTS OF HAZARDOUS CHEMICALS. THE CONTRACTOR SHALL ENSURE REMOVAL AND DISPOSAL OF FANS IS IN ACCORDANCE WITH ALL INDUSTRY BEST PRACTICES AND/OR LOCAL, STATE, FEDERAL REGULATIONS FOR ASSOCIATED SCOPE OF WORK.
- ANY PARAPET MOUNTED, EQUIPMENT MOUNTED, AND/OR FRAME MOUNTED CONVENIENCE OUTLETS, NOT SPECIFICALLY IDENTIFIED ON THIS PLAN, WHICH ARE REQUIRED TO BE REMOVED AS PART OF THIS PROJECT SHALL BE RE-INSTALLED IN THE SAME PROXIMITY AS THE REMOVED DEVICE AND INSTALLED WITHIN A WEATHERPROOF ENCLOSURE.

PLAN KEYED NOTES

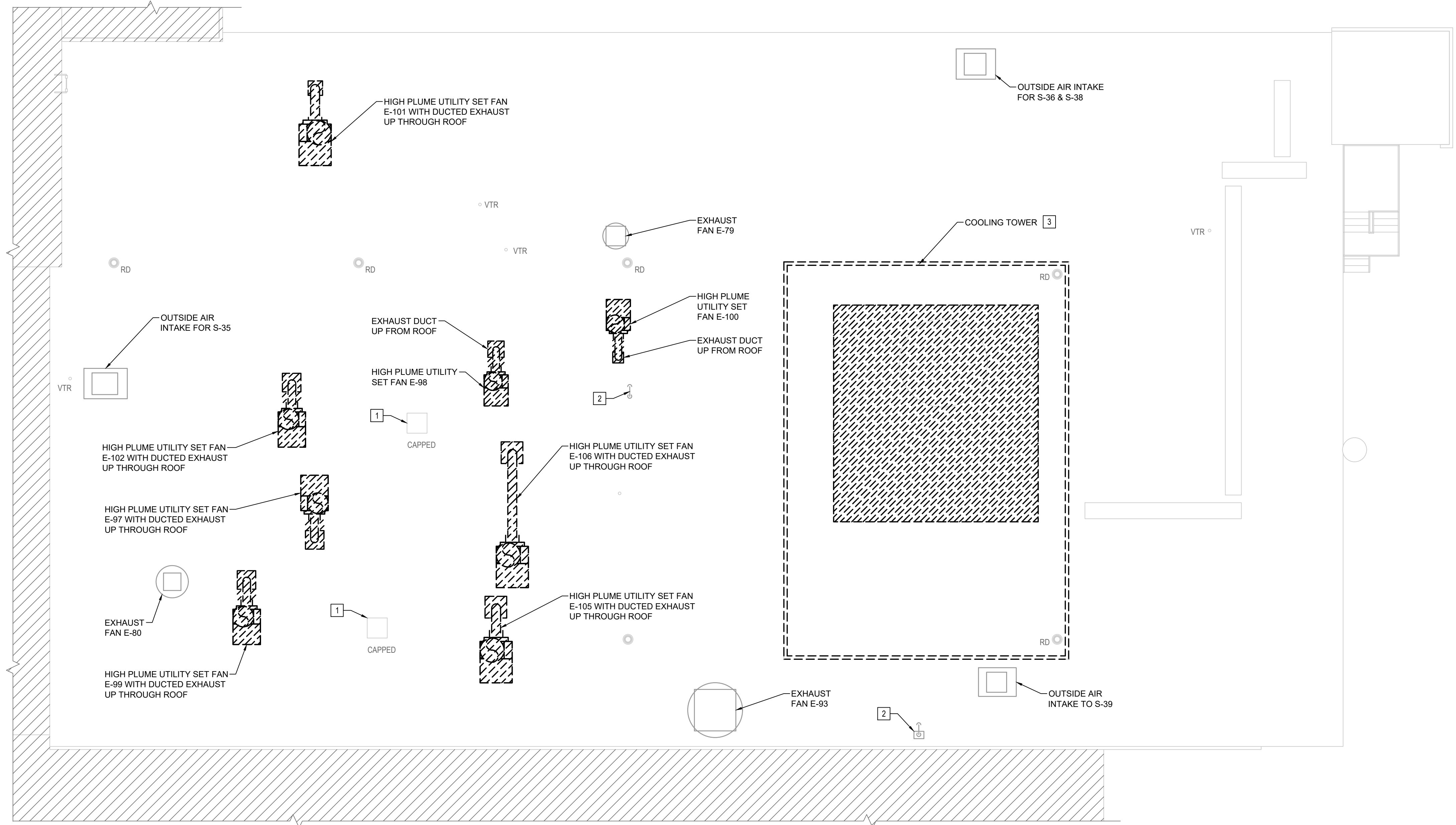
- INDICATES EXISTING EQUIPMENT SUPPORT CAPPED WITH SHEETMETAL. SHEET METAL TO BE REMOVED AND OPENING TO BE FLASHED AS PART OF ROOFING SYSTEM.
- THREADED GOOSENECK TURNDOWNS DESIGNATED TO REMAIN. THE CONTRACTOR SHALL CONFIRM THE USE OF THE ITEM AND IF NO LONGER UTILIZED BY THE FACILITY AND/OR OWNER REMOVE UPON OWNER APPROVAL.
- COOLING TOWER AND SCREENING APPARATUS TO BE REMOVED COMPLETE. COORDINATE SCOPE WITH ARCHITECTURAL DRAWINGS. COORDINATE REMOVAL OF ALL SCREEN EQUIPMENT, DUCTWORK, ELECTRICAL POWER AND DEVICES WITH OTHER TRADES AS REQUIRED.

LEGEND

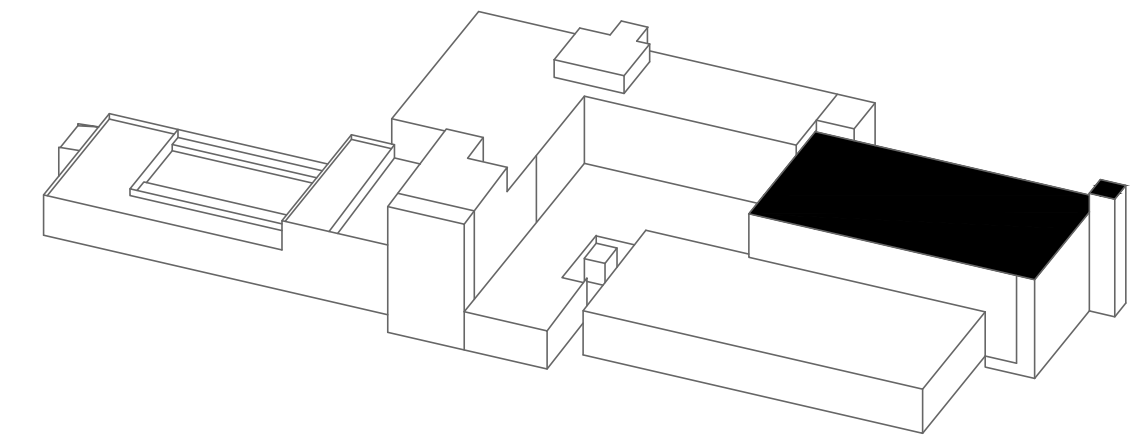
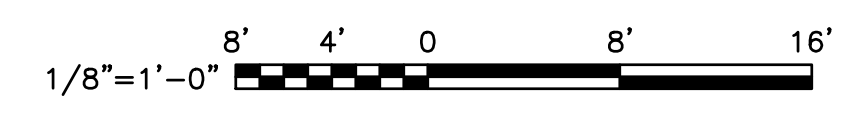
INDICATES EXISTING EQUIPMENT DESIGNATE TO REMAIN IN SAME LOCATION UPON THE COMPLETION OF THE NEW ROOFING SYSTEM. EQUIPMENT SHALL BE TEMPORARILY REMOVED/LIFTED FOR ROOFING REPLACEMENT. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

INDICATES EXISTING EQUIPMENT DESIGNATED FOR COMPLETE REMOVAL. EXISTING CURBING TO REMAIN. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.

INDICATES EXISTING EQUIPMENT, STRUCTURE, ETC. TO BE REMOVED COMPLETE. CURBING TO BE REMOVED, ROOF OPENING(S) TO BE ENCLOSED AND/OR PATCHED. REFERENCE ARCHITECTURAL DRAWINGS.



MECHANICAL AREA 'D' ROOF PLAN
 Scale: 1/8" = 1'-0"



KEYPLAN - AREA 'D'

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

11 The Woodlands, Suite 100
Asheville, North Carolina 28803
Phone: (828) 252-8181 Fax: (828) 252-8867
www.mkimcreed.com

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

MECHANICAL ROOF PLAN - AREA 'D'

REVISIONS:

No.	Description	Date

DRAWN BY: DAC
 CHECKED BY: JMR
 DATE: JUNE 28, 2021

NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
M104

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS


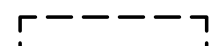
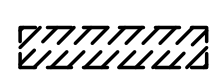
GENERAL SHEET NOTES

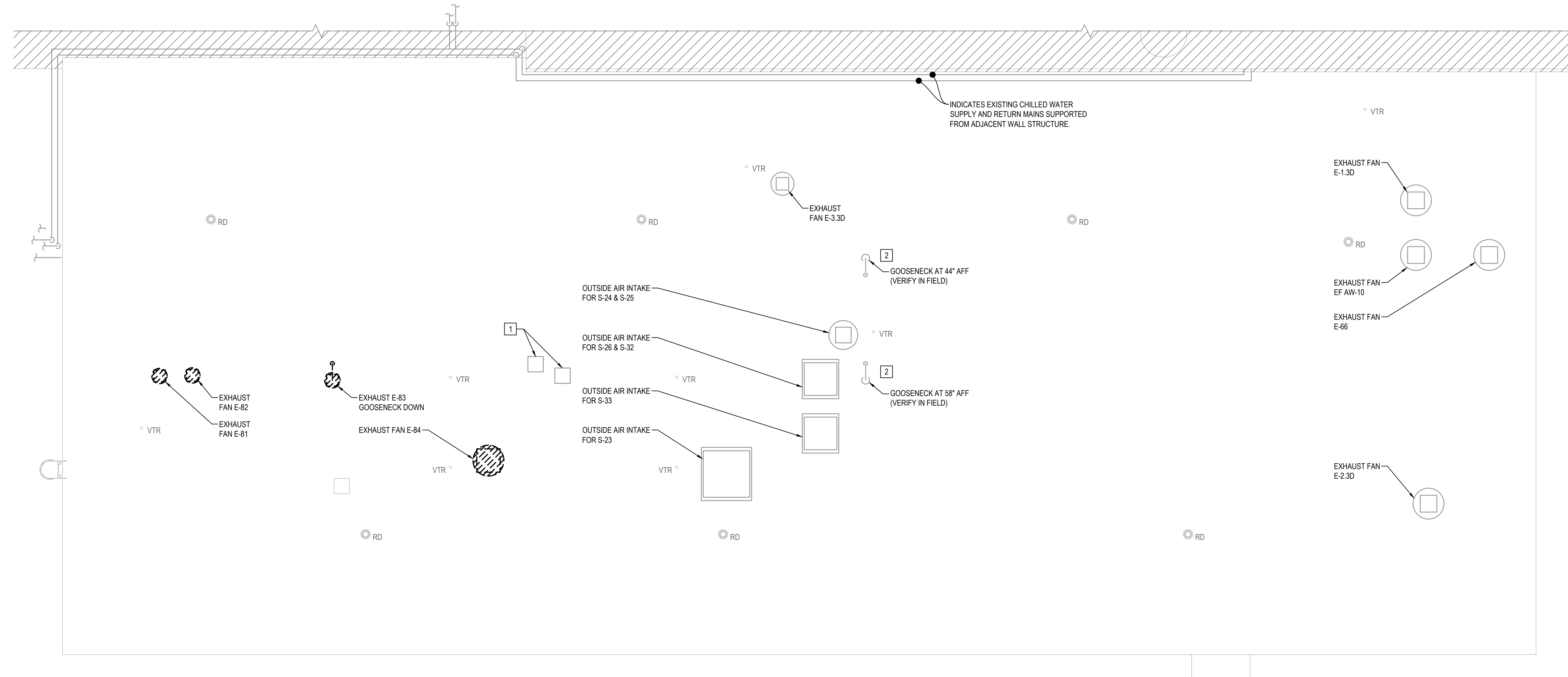
- PRIOR TO CONSTRUCTION, THE CONTRACTOR, OWNER, LEASEE(S), AND DESIGN TEAM SHALL COORDINATE A WALKTHROUGH OF EACH SPACE AND ROOFTOP TO VERIFY THE EQUIPMENT REMOVAL.
- ALL EQUIPMENT REMOVED AND NOT REINSTALLED AS PART OF THIS PROJECT SHALL HAVE ITS ELECTRICAL TERMINATED IN A JUNCTION BOX BELOW THE ROOF AND/OR ASSOCIATED GRADE LEVEL IN A CLEAN, ELECTRICALLY SAFE MANNER PER NEC REQUIREMENTS. COORDINATE EXTENT OF WIRING REMOVAL WITH THE OWNER AND ENSURE THE JUNCTION BOX IS FULLY ACCESSIBLE. LABEL THE JUNCTION BOX TO IDENTIFY IT IS A SPARE AND PROVIDE THE ASSOCIATED PANEL AND CIRCUIT DESIGNATION(S). THE PANELBOARD AND PANEL SCHEDULE SHALL BE UPDATED TO IDENTIFY THE ASSOCIATED CIRCUITS ARE SPARE TERMINATING WITHIN A JUNCTION BOX.
- GENERAL EQUIPMENT SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL CONFIRM THE SIZE AND LOCATION OF THE EQUIPMENT PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL PIPING AND ACCESSORIES INDICATED AS BEING REMOVED SHALL NOT BE DETRIMENTAL TO THE OPERATION AND FUNCTIONALITY OF SYSTEMS AND SERVICES TO REMAIN IN OPERATION UPON THE COMPLETION OF CONSTRUCTION.
- ANY REQUIRED SYSTEM AND/OR EQUIPMENT SHUTDOWNS REQUIRED TO COMPLETE THE SCOPE OF WORK SHALL BE COORDINATED WITH THE OWNER AND LEASEE(S) NO LESS THAN 10 WORKING DAYS PRIOR.
- ALL UNUSED PIPING PORTALS, ELECTRICAL DEVICES, SLEEVES, ETC. NO LONGER UTILIZED OR SERVICING EQUIPMENT SHALL BE REMOVED COMPLETE.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY CURBING AND SUPPORT REQUIREMENTS WITH THE ROOFING CONTRACTOR TO ENSURE THE FLASHED CURBING ELEVATES THE EQUIPMENT NO LESS THAN 8-INCHES ABOVE THE FINISHED ROOFING SYSTEM AND AT A FINISHED ELEVATION ABOVE THE FINISHED ROOF MATCHING THAT OF THE PRE-CONSTRUCTION CONDITION. THE CONTRACTOR SHALL DOCUMENT PRE-CONSTRUCTION FINISHED ELEVATIONS FOR ALL EQUIPMENT DESIGNATE FOR REINSTALLATION PRIOR TO COMMENCEMENT OF WORK.
- ANY PARAPET MOUNTED, EQUIPMENT MOUNTED, AND/OR FRAME MOUNTED CONVENIENCE OUTLETS, NOT SPECIFICALLY IDENTIFIED ON THIS PLAN, WHICH ARE REQUIRED TO BE REMOVED AS PART OF THIS PROJECT SHALL BE RE-INSTALLED IN THE SAME PROXIMITY AS THE REMOVED DEVICE AND INSTALLED WITHIN A WEATHERPROOF ENCLOSURE.

PLAN KEYED NOTES


- INDICATES EXISTING EQUIPMENT SUPPORT CAPPED WITH SHEETMETAL. SHEET METAL TO BE REMOVED AND OPENING TO BE FLASHED AS PART OF ROOFING SYSTEM.
- THREADED GOOSENECK TURNDOWNS DESIGNATED TO REMAIN. THE CONTRACTOR SHALL CONFIRM THE USE OF THE ITEM AND IF NO LONGER UTILIZED BY THE FACILITY AND/OR OWNER REMOVE UPON OWNER APPROVAL.

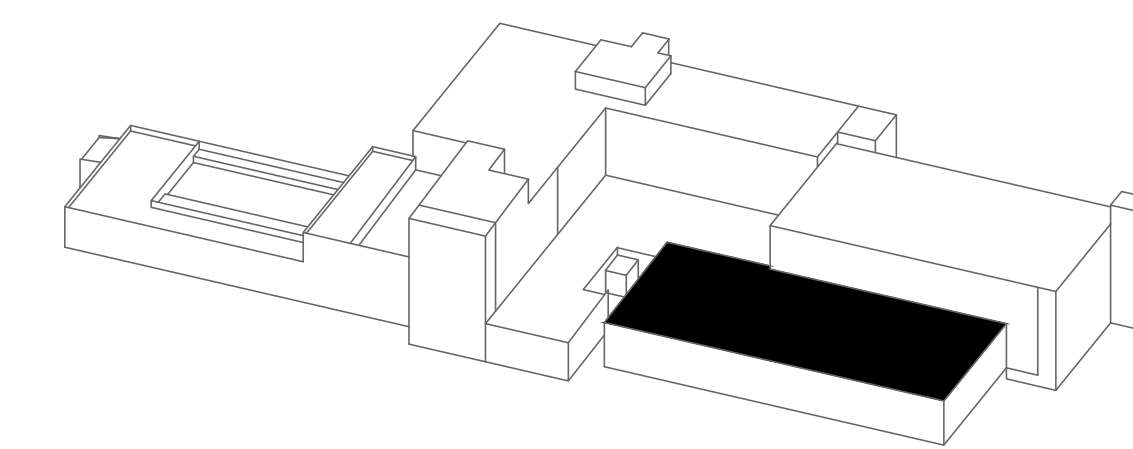
LEGEND

-  INDICATES EXISTING EQUIPMENT DESIGNATE TO REMAIN IN SAME LOCATION UPON THE COMPLETION OF THE NEW ROOFING SYSTEM. EQUIPMENT SHALL BE TEMPORARILY REMOVED/LIFTED FOR ROOFING REPLACEMENT. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.
-  INDICATES EXISTING EQUIPMENT DESIGNATED FOR COMPLETE REMOVAL. EXISTING CURBING TO REMAIN. WHERE REQUIRED TO ACCOMMODATE A HIGHER MEMBRANE ELEVATION, MODIFY THE EXISTING OR PROVIDE NEW CURBING AND FLASHING TO MEET ROOFING MANUFACTURER REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS.
-  INDICATES EXISTING EQUIPMENT, STRUCTURE, ETC. TO BE REMOVED COMPLETE. CURBING TO BE REMOVED, ROOF OPENING(S) TO BE ENCLOSED AND/OR PATCHED. REFERENCE ARCHITECTURAL DRAWINGS.



MECHANICAL AREA 'E' ROOF PLAN
 Scale: 1/8" = 1'-0"

1/8" = 1'-0" 



KEYPLAN - AREA 'E'



ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM



51 Shiloh Park, Suite 100
Asheville, North Carolina 28803
Phone: (828) 252-9181 Fax: (828) 252-8867
www.mkimcreed.com



TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

MECHANICAL ROOF PLAN - AREA 'E'

REVISIONS:		
No.	Description	Date

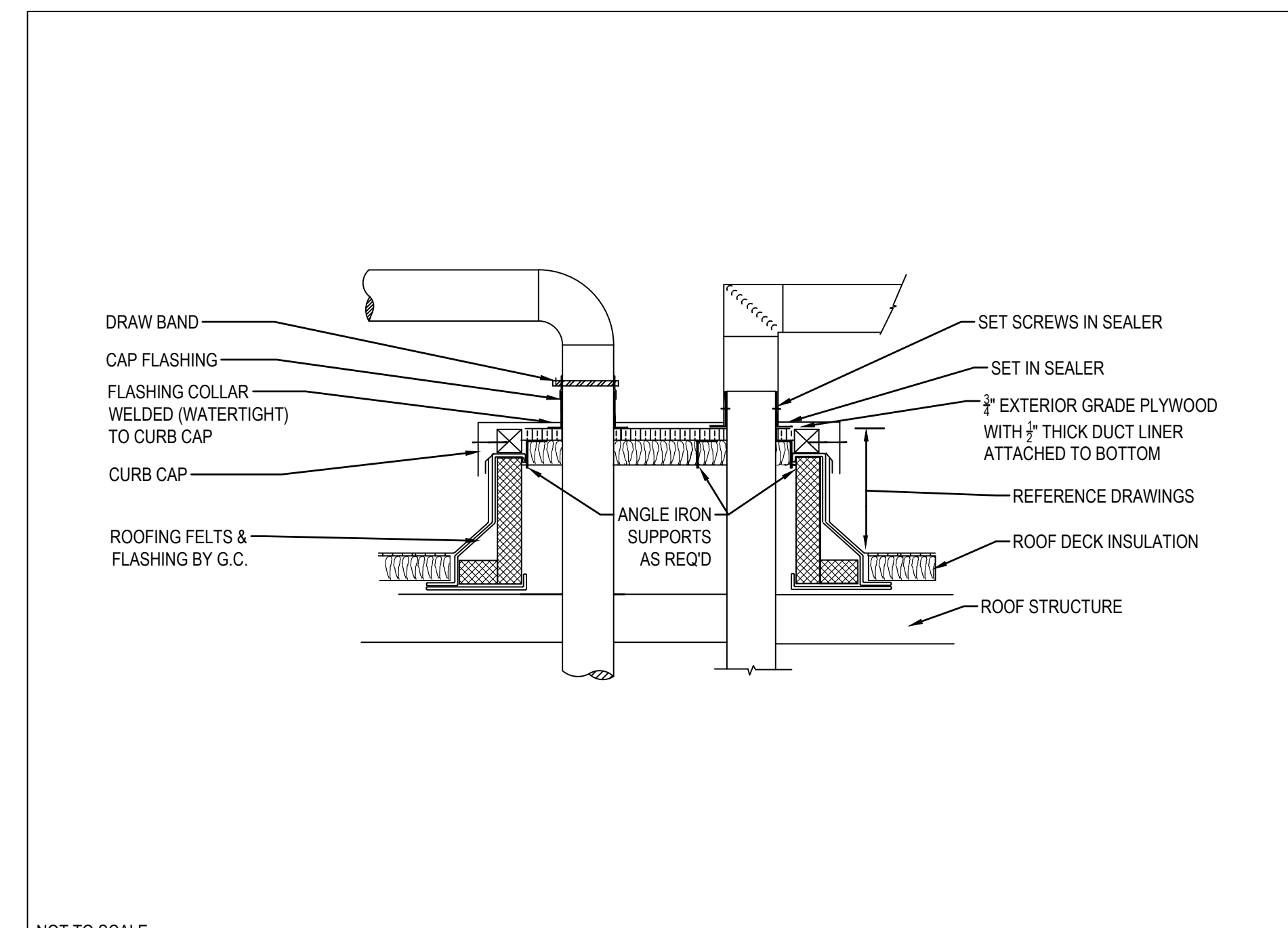
DRAWN BY: DAC
CHECKED BY: JMR
DATE: JUNE 28, 2021

NOVUS JOB NUMBER
2015-3113.07

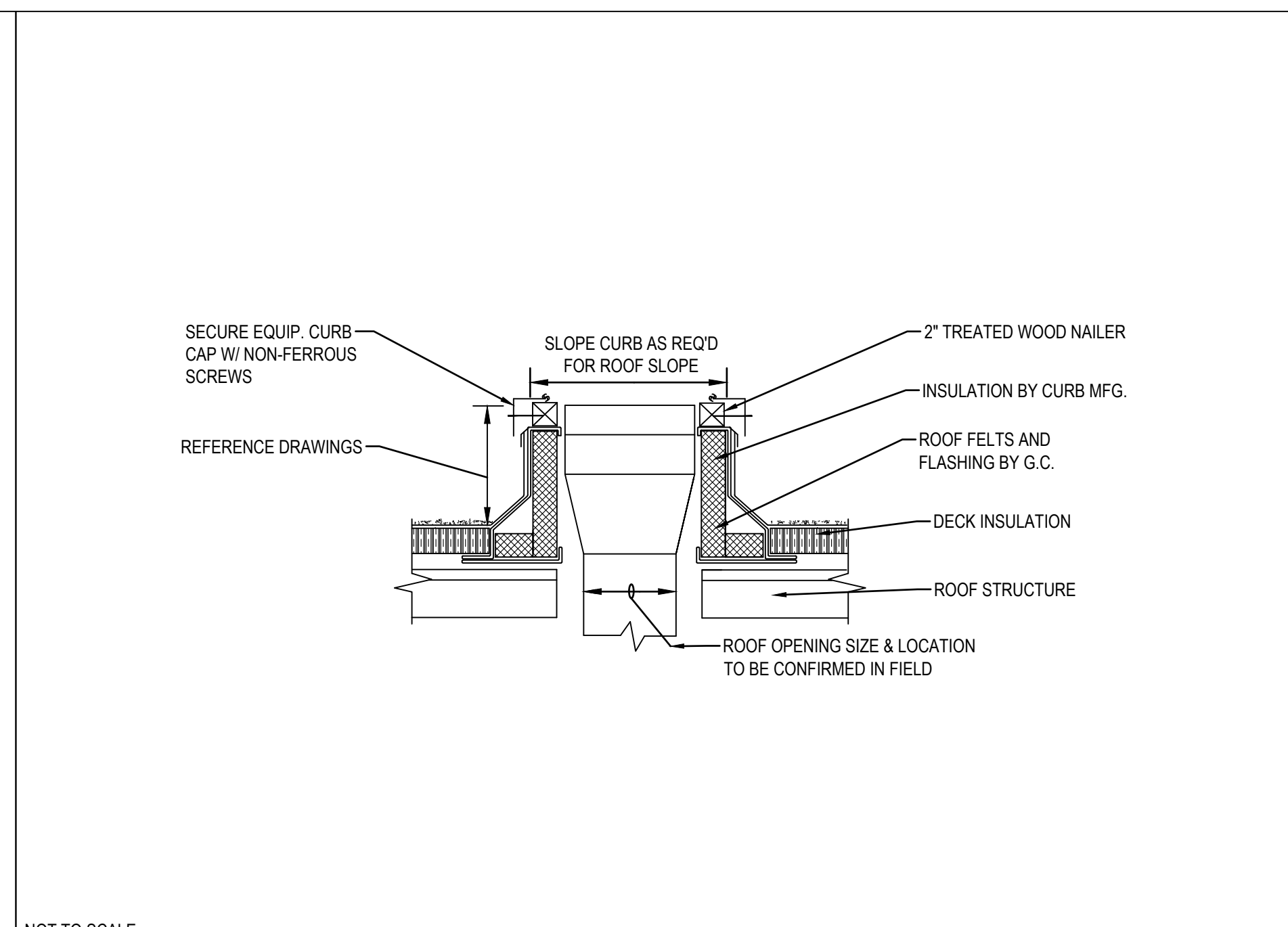
SHEET NUMBER
M105

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

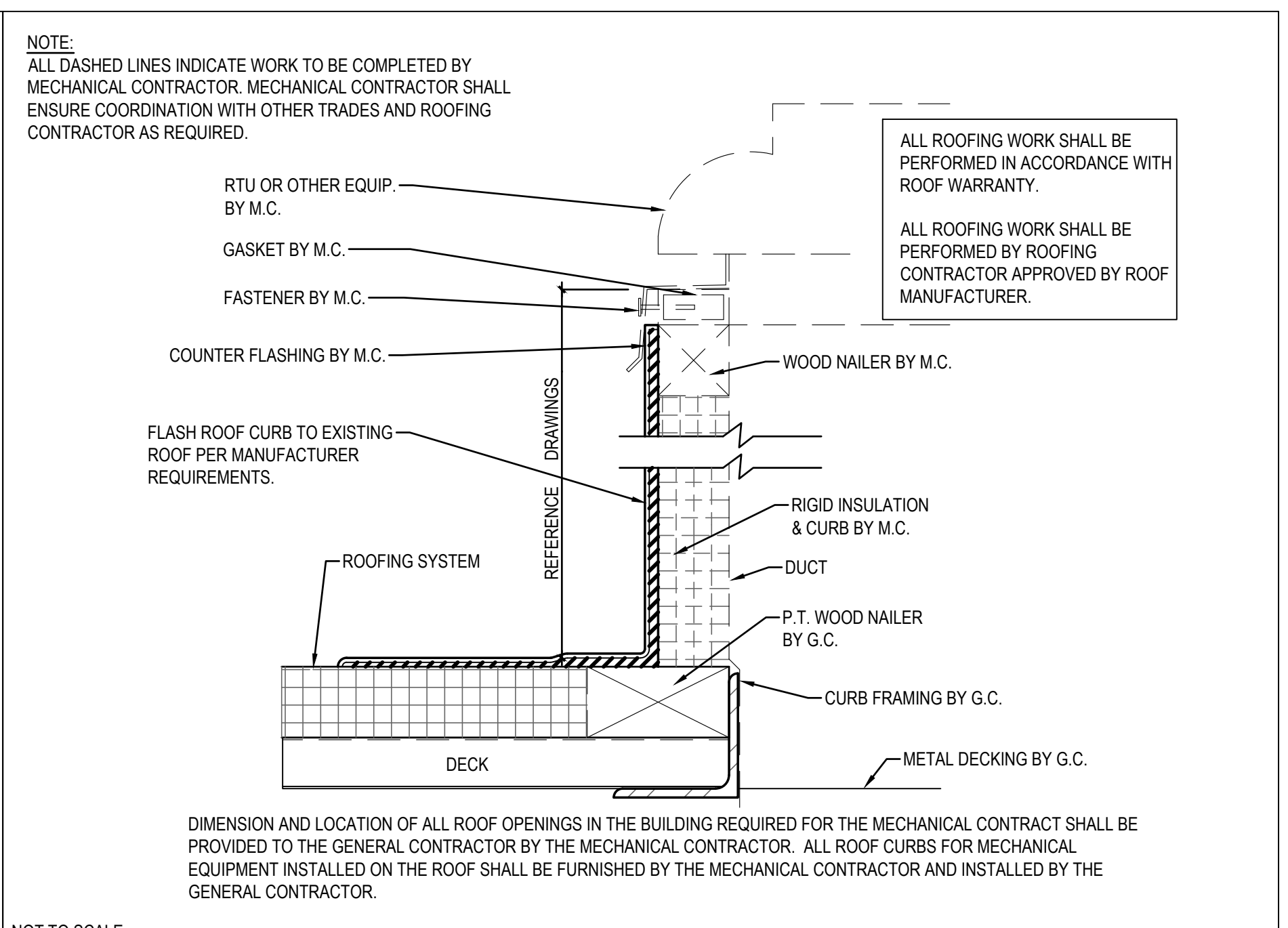
ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



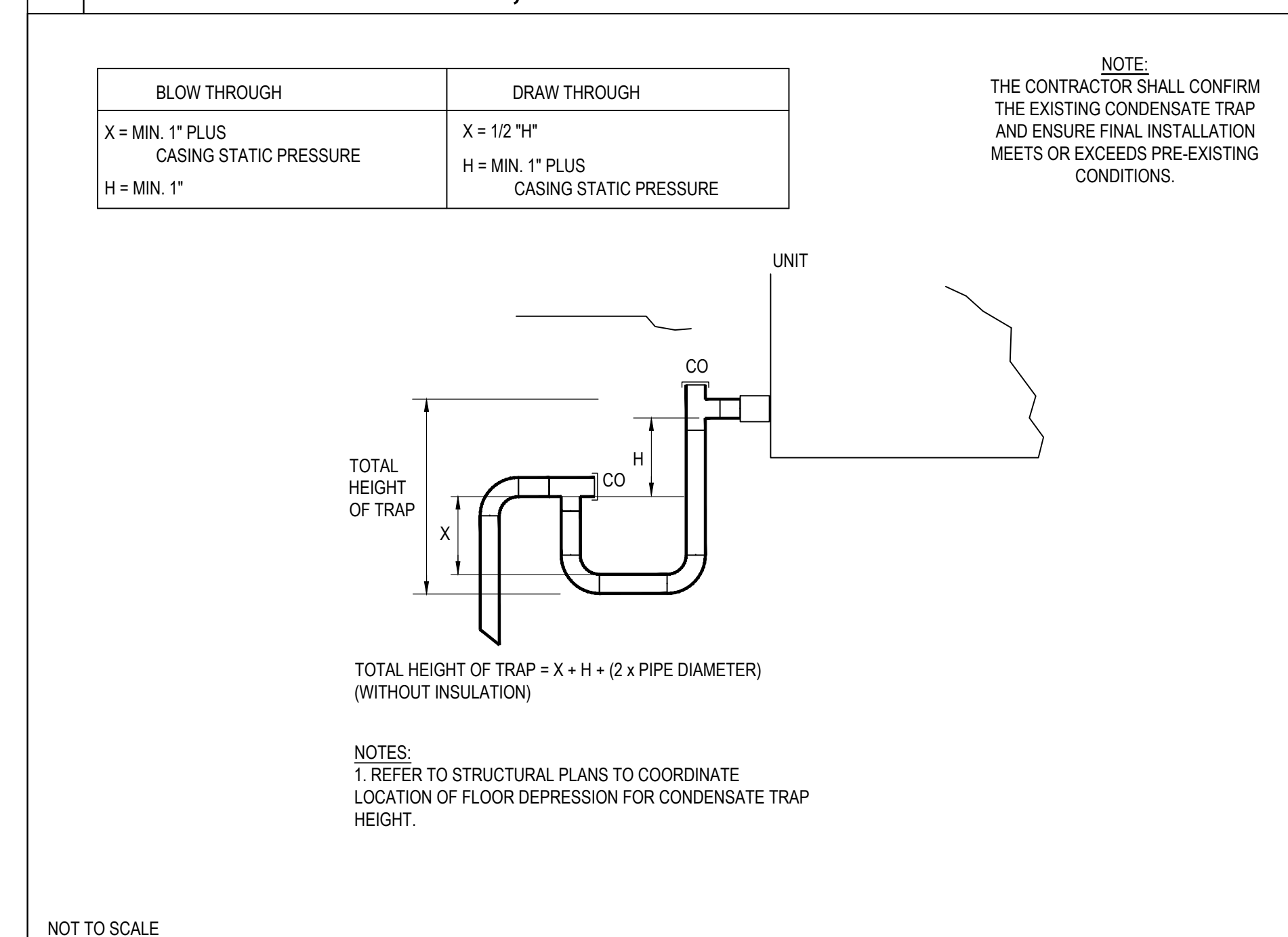
NOT TO SCALE
1 ROOF CURB AT ROOF, DUCT PENETRATION DETAIL



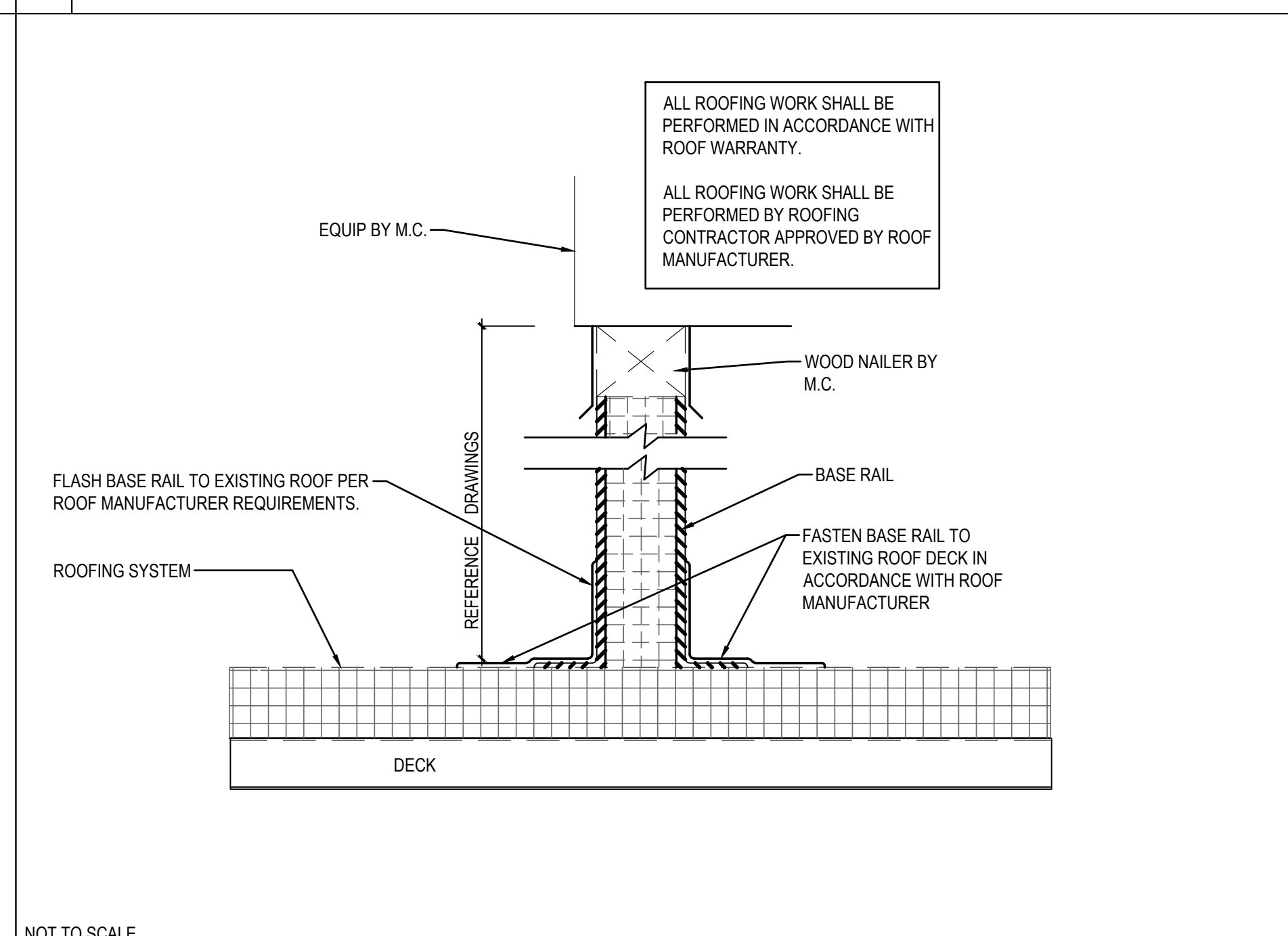
NOT TO SCALE
2 ROOF CURB DETAIL



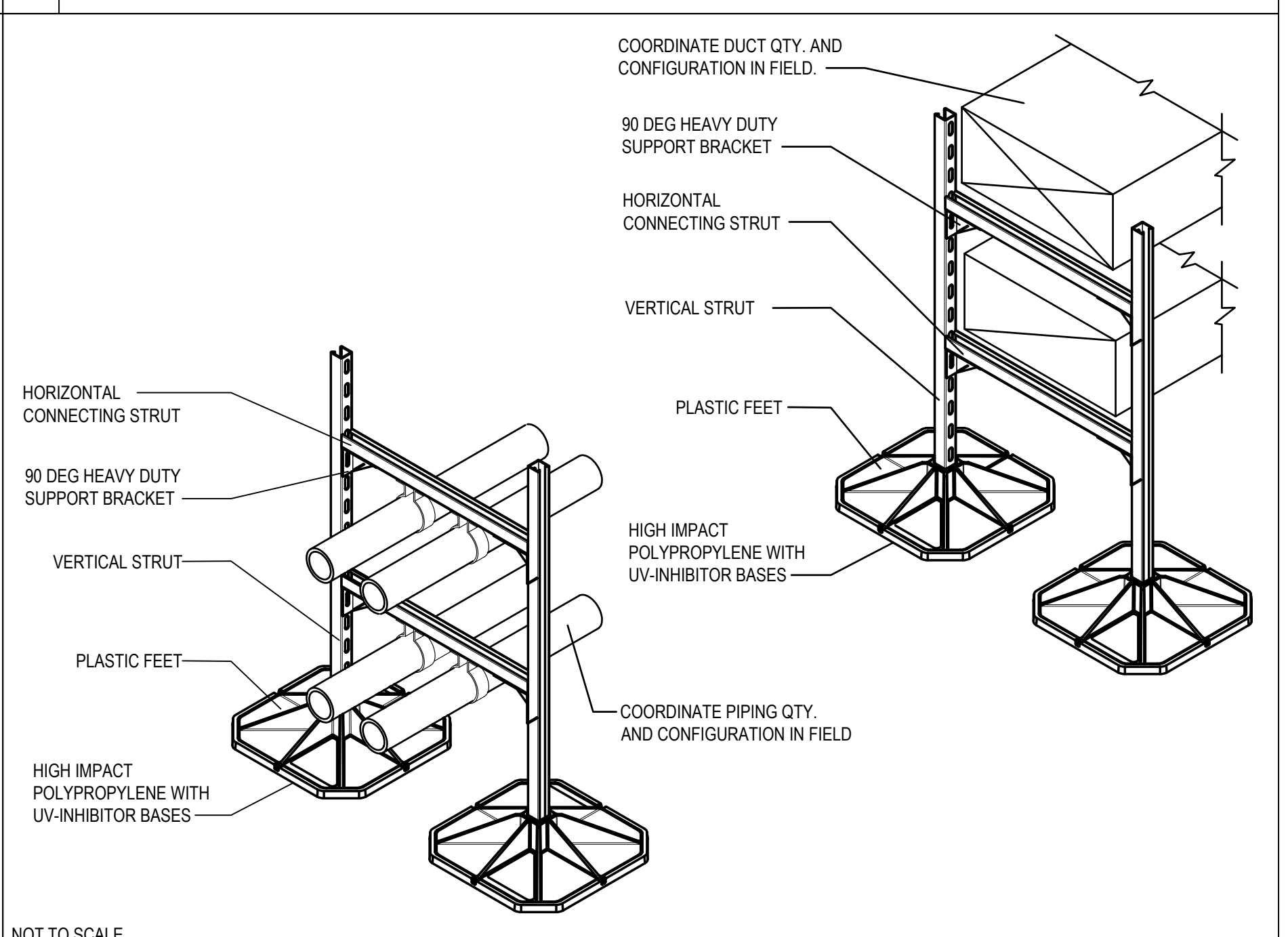
NOT TO SCALE
3 TYPICAL ROOF CURB DETAIL



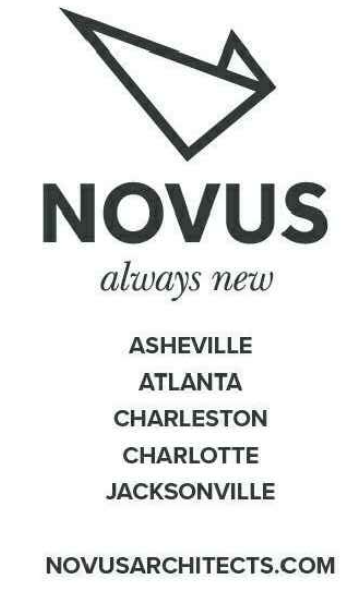
NOT TO SCALE
4 CONDENSATE TRAP



NOT TO SCALE
5 EQUIPMENT RAIL DETAIL



NOT TO SCALE
6 ROOF DUCT/PIPE SUPPORTS



MCKIM & CREED
11 Stoneham Street
Asheville, North Carolina 28803
Phone: (828) 252-9181 Fax: (828) 252-8867
www.mckimcreed.com



**TCC BUILDING
ROOF REPLACEMENT**
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

MECHANICAL DETAILS

No.	Description	Date

DRAWN BY: DAC
CHECKED BY: JMR
DATE: JUNE 28, 2021
NOVUS JOB NUMBER
2015-3113.07

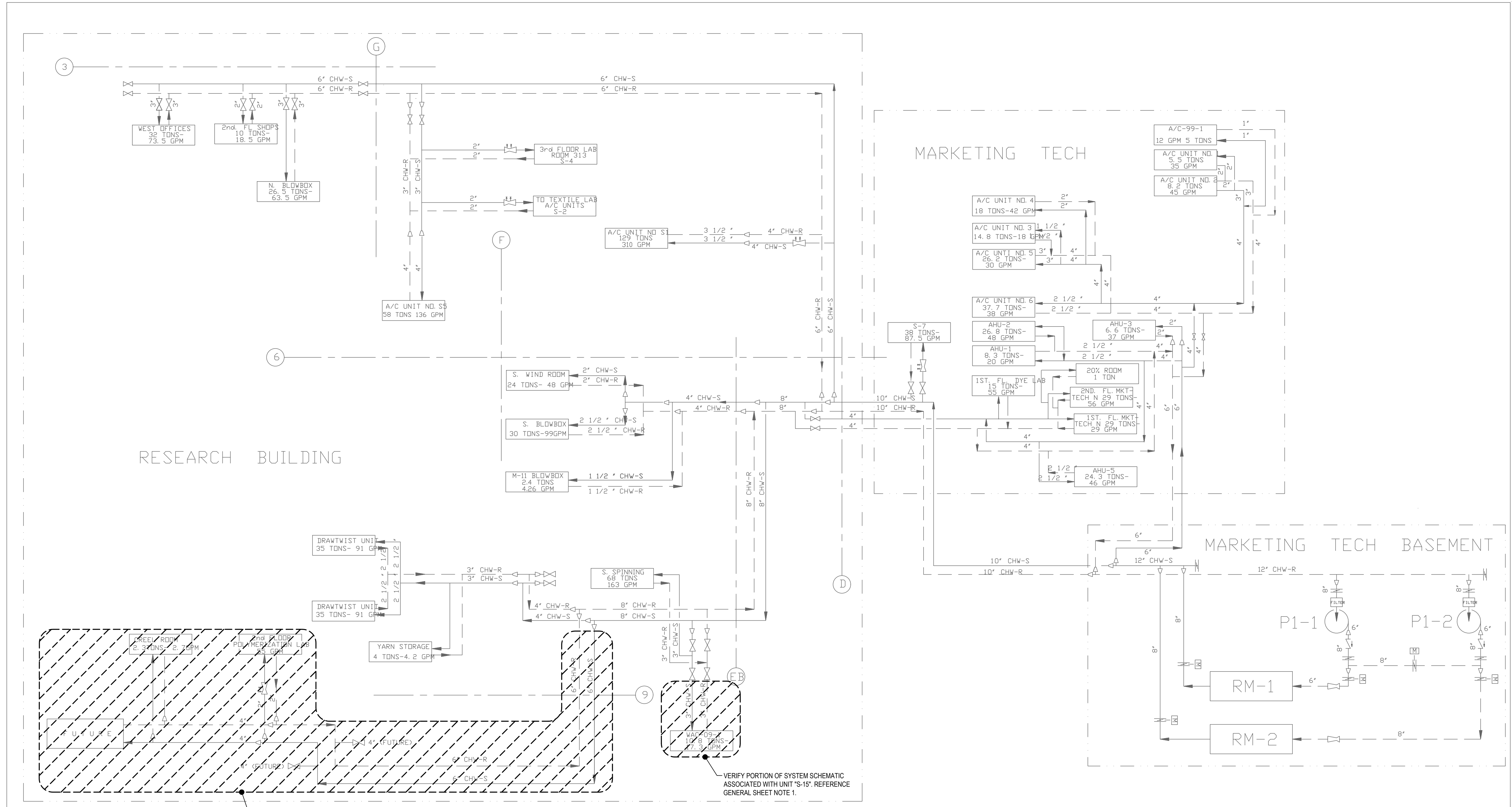
SHEET NUMBER
M201

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2021 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

GENERAL SHEET NOTES

- THIS DRAWING IS INCLUDED FOR REFERENCE ONLY AS AN INDICATION OF THE CHILLED WATER DISTRIBUTION SYSTEM AND ASSOCIATED BRANCHES TO ASSIST THE CONTRACTOR AND/OR OWNER TO DETERMINE EXTENT OF SYSTEM PIPING DEMOLITION NOTED WITHIN THIS PROJECT SCOPE.
- THE DIAGRAM ON THIS SHEET TAKEN FROM OWNER PROVIDED RECORD DRAWINGS FOR THE FACILITY. THE HATCHED AREA INDICATES THE ENGINEER'S UNDERSTANDING OF THE PORTION OF THE CHILLED WATER SYSTEM PIPING NOTED FOR REMOVAL WITHIN THESE DOCUMENTS. THE CONTRACTOR SHALL FIELD VERIFY THE ACCURACY OF THE SCHEMATIC AND/OR ANY MODIFICATIONS TO THE SYSTEM MADE AFTER THE ORIGINATION DATED NOTED.



RM-1	TRANE CENTRIVAC REFRIGERATION MACHINE, MODEL PCV-40, 415 TONS, 1320 GPM CHILLED WATER FROM 52°F TO 42°F. 1650 GPM CONDENSING WATER FROM 95°F TO 85°F. 4160 VOLT
RM-2	TRANE CENTRIVAC 1/4 REFRIGERATION MACHINE, MODEL CVHE-500, 550 TONS, 1320 GPM CHILLED WATER FROM 52°F TO 42°F. 1650 GPM CONDENSING WATER FROM 95°F TO 85°F. 4160 VOLT
P1-1	WORTHINGTON 6LR16 HORIZONTAL SPLIT CASE PUMPS, 125 HP @ 1760 RPM, 1320 GPM @ 220 FT TDH.
P1-2	

No.	DATE	BY	CHK	APP	DESCRIPTION

ORIGINATION	BY	DATE	BASF Corporation
DRAWN	KINSLAS	08/07/21	
DESIGN			
CHECKED			
APPROVAL	BY	DATE	
			HVAC FLOW & PIPING SCHEMATIC CHILLED WATER SYSTEM ENKA RESEARCH BUILDING
			DRAWING NUMBER
			0427-640-H3-ENK-X00
			REV 1
			CAD INFORMATION
APPRD. No.	PHY 640 HVAC	h3enrkx00640	2000/08/23
PROJECT No.	427		
SITE	0427		
SCALE	NONE		

ASHEVILLE
ATLANTA
CHARLESTON
CHARLOTTE
JACKSONVILLE

NOVUSARCHITECTS.COM

11 The Woodlands, Suite 100
Asheville, North Carolina 28803
Phone: (828) 252-9181 | Fax: (828) 252-8857
www.mkimcreed.com

WILLIAM R. RHODES
9/15/21

TCC BUILDING
ROOF REPLACEMENT
ASHEVILLE-BUNCOMBE TECHNICAL COMMUNITY COLLEGE - ENKA CAMPUS
CANDLER, NORTH CAROLINA

CHILLED WATER SCHEMATIC

REVISIONS:

No.	Description	Date

DRAWN BY: DAC
CHECKED BY: JMR
DATE: JUNE 28, 2021

NOVUS JOB NUMBER
2015-3113.07

SHEET NUMBER
M202

CONSTRUCTION DOCUMENTS - SEPTEMBER 15, 2021